

CHAPTER 10 LARGE LOT RESIDENTIAL

STRATEGIC PLANNING DIRECTIONS

The planning principles to be used to guide the development of this Strategy and to inform the future management and development of large lot residential lands in the Lithgow LGA are as follows:

- Reinforce the recommended settlement hierarchy by locating any new large lot residential development opportunities inside the 15km maximum outer limit as identified in Figures 4 and 5 Chapter 4.
- Consider the environmental capacity of the land and ensure that any development is within the capability of, and is suitable for, the land having regard to constraints and opportunities analysis and mapping.
- Ensure that large lot residential development is provided as an alternative to standard residential development and is not instead of.
- Ensure that any development within large lot residential areas is compatible with residential amenity.
- Ensure that large lot residential development outside the urban core does not detract from the rural landscape and character of the area.
- Ensure that the interface between large lot residential development with the urban core and wider rural areas minimises land use conflict through appropriate planning and design.
- Ensure that any new large lot residential development is provided with efficient and economic provision of services and where possible is provided with reticulated water and sewer.

PLANNING CONTEXT

This chapter of the Strategy deals with the form of rural settlement that occurs on small rural lots (predominantly 1ha-10ha in size) in a clustered estate format. This development is commonly referred to as "rural residential". In this document all three terms "clustered rural lifestyle," "rural residential" and "large lot residential" are considered to be interchangeable.

Within the Lithgow LGA this form of development has been provided in a number of locations such as Hartley, Dargan, Clarence, Lidsdale, Portland North and Portland South, Wallerawang South/East and Wallerawang South/West as shown in Figure 1. These areas are currently zoned 1(c) Rural (Small Holdings).

These areas were introduced in the 1994 Lithgow LEP following an earlier amendment to the Blaxland Shire Interim Development Order. The Clarence and Dargan estates were existing subdivisions approved under the Blaxland Shire Interim Development Order.

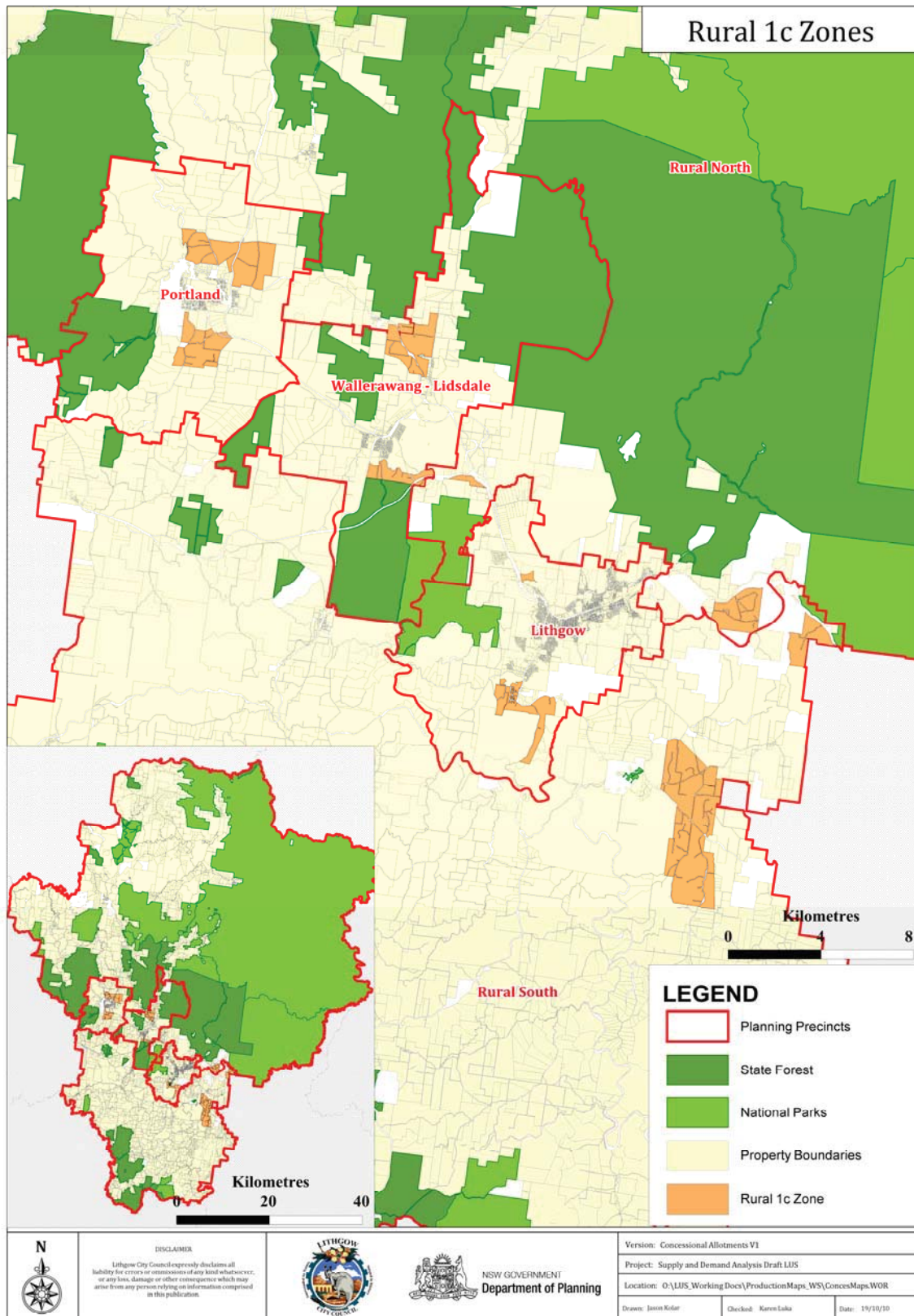
Development activity within these areas has been significant and accounted for 22.4% (284) of all dwelling applications lodged between 1996 -2009.

These areas have varying degrees of take-up with the most significant development occurring in the Hartley area.

Indications are that this form of development is still in high demand and will increase in popularity into the future as the trends towards "tree change" lifestyle in rural settings in close proximity to metropolitan areas continue.

The challenge for this Strategy is to ensure that the demand for this form of settlement occurs in a sustainable manner and does not detract from the ongoing viability of existing centres or impose on the Lithgow community an unreasonable demand for services and facilities.

Figure 1. Rural 1c Zones



PAST STUDIES AND CONSULTATION

Identified studies within Chapter 9 Rural Lands are also relevant for this Chapter. Please refer to Chapter 9 for details.

POLICY AND LEGISLATIVE FRAMEWORK

The key state and federal policy and legislation governing rural land use within the Lithgow LGA is as follows:

Instrument Name
KEY ACTS
Environmental Planning and Assessment Act
Local Government Act
Rural Fires Act 1997
KEY MINISTERIAL DIRECTIONS (Section 117)
Direction 1.2 Rural Zones
Direction 1.4 Rural Lands
Direction 2.1 Environmental Protection Zones
Direction 2.3 Heritage Conservation
Direction 4.4 Planning for Bushfire Protection
Direction 5.2 Sydney Drinking Water Catchments
KEY STATE ENVIRONMENTAL PLANNING POLICIES
Standard Instrument (LEP) Order 2006
Drinking Water Catchments Regional Environmental Plan No 1 (Deemed SEPP)
Rural Lands 2008

Please refer to Chapter 3 for more detail.

LOCAL PLANNING PROVISIONS

The areas identified in Figure 1 are zoned Rural (Small Holdings) 1(c) under the Lithgow City Local Environmental Plan 1994.

The primary objective of this zone is to allow rural small holdings and a range of other land uses compatible with the environmental capabilities of the land.

The zone permits with consent a range of land uses ranging from dwellings to light industries and bulky goods salesroom and showrooms.

SUBDIVISION PROVISIONS

Subdivision for residential purposes within Zone 1(c) is permitted under the following provisions:

Table 1. Subdivision for Residential Purposes within Zone 1(c)

LEP	Provisions
Lithgow Local Environmental Plan 1994	Clause 14(1) (a) each allotment to be created will have an area of not less than 1ha (b) after the subdivision, the average area of the allotments that have been and will be created from the existing holding concerned by all subdivisions, including all allotments created since 8 May 1992 and those

LEP	Provisions
	<p>effected in accordance with this clause will be not less than 2 hectares.</p> <p>(c) a geotechnical survey indicates the capacity of the land for septic disposal of effluent within the boundaries of each allotment or a water balance assessment indicates that effluent can be disposed of within the boundaries of each allotment using domestic aerated sewerage or similar treatment.</p> <p>(d) the land capability is classified as predominantly Class 1 to V, inclusive, as defined on maps prepared by the Department of Conservation and Land Management and deposited in the office of the Council.</p> <p>(e) appropriate measures will be undertaken to prevent pollution of water catchment areas from each allotment.</p> <p>(f) appropriate measures will be taken to control soil erosion and stormwater flows across each allotment or onto adjoining land.</p> <p>(g) the subdivision is so arranged that the number of new vehicular access points to main roads is minimised.</p> <p>(h) adequate measures will be taken in relation to each allotment for the provision of a water supply, power supply, access and disposal of domestic waste water.</p> <p>(i) development on each allotment is unlikely to be exposed to significant risks from natural hazards, or to increase those risks to other land.</p>

Source: Lithgow City LEP 1994

Clause 14(b) of the Lithgow City LEP 1994 is complex and is not transparent regarding the development potential of lands. This clause not only provides an administrative challenge, it also has little regard to the capability or suitability of the land as a determinative of minimum lot size.

The minimum lot size for subdivision in these areas should be simplified to remove ambiguity and to reflect the assessed capability of the land.

SUMMARY OF ISSUES

As this form of development occurs within the wider rural context and landscape, many of the issues discussed in the Rural Lands chapter are also relevant here. The major difference is that impacts from this form of development are clustered and are therefore more predictable. This assists in the development of appropriate planning and governance responses.

Table 2. Issues of Clustered Rural Lifestyles Planning

LARGE LOT RESIDENTIAL ISSUES	WHY IS IT AN ISSUE?
<p>A significant proportion (22.4%) of all development applications lodged between 1996 and 2009 were in clustered rural residential areas. In the years 1996-2001 the number of dwelling approvals in clustered rural residential areas exceeded approvals for the main urban areas.</p>	<ul style="list-style-type: none"> • Areas of large lot residential development have grown in population size disproportionately to their role in an orderly settlement hierarchy and level of service provision. • Increasing infrastructure and service costs particularly in relation to provision and maintenance of rural roads and garbage services, but also in social and governance services. • Loss of critical mass in urban areas to maintain and improve services and higher order infrastructure. • Increased risk of social isolation due to lack of community structure and the impacts of ageing of the population in rural areas
<p>Potential for areas of clustered rural residential lands to grow in population beyond their capacity to</p>	<ul style="list-style-type: none"> • Areas of large lot residential development have grown in population size disproportionately to their role in an orderly settlement hierarchy and level of

LARGE LOT RESIDENTIAL ISSUES	WHY IS IT AN ISSUE?
provide services and facilities.	<p>service provision. This is particularly relevant to the Hartley area</p> <ul style="list-style-type: none"> Community expectation and demand for services may not align with Council's ability or desire to provide services and facilities
An apparent oversupply of clustered rural residential lands across LGA, based on current demand levels.	<ul style="list-style-type: none"> The oversupply of land across the LGA will impede the effectiveness of any strategy to consolidate growth in urban areas Despite this supply level Council is still under pressure to release more lands for large lot residential development Some landowners of land currently zoned for this land use appear reluctant or unwilling to develop lands and therefore the market supply level may be different from the theoretical supply
Land use conflict within clustered areas and at the interface with adjoining lands.	<ul style="list-style-type: none"> The current zone and permitted land uses create an anomaly in expectation of amenity between residential and semi rural and therefore creates land use conflict. Current development control provisions are ineffective
Potential cumulative impact upon water quality from on-site effluent disposal systems.	<ul style="list-style-type: none"> Many of the on-site effluent disposal systems in these areas are failing to meet operational and performance standards. Potential for these areas to grow in population beyond a level that can reasonably be serviced with on-site systems.

DISCUSSION OF ISSUES

SUPPLY AND DEMAND FORECASTS

The key findings of the Supply and Demand Analysis in relation to the existing clustered rural lifestyle areas (Zone 1(c)) are summarised in Table 3.

Table 3. Key Findings of the Supply and Demand Analysis

Demand And Supply By Precinct/Zone						
Zone/Precinct	Dwelling Approvals 1996-2009	Avg Yearly Demand	Land Supply	Projected Dwelling Demand 2031(20yrs)	Pop Increase	Land Supply/Years
Lithgow						
1c	26	2	25	40	96	12.5
Wallerawang						
1c	26	2	107	40	96	53.5
Portland						
1c	62	5	192	95	228	38.4
Rural Nth						
1c	26	2	11	40	96	5
Rural Sth						
1c	144	11	247	221	530	22
LGA Total	284	22	558	436	1046	25.3

Source: LCC

The above table illustrates that on an LGA wide basis, based on current demand levels that supply will meet demand over the 20 year life of this Strategy. However, it also demonstrates that demand will not be met in each planning precinct without identification of new opportunity areas for this land use.

In reviewing the suitability and capability of the existing areas against the strategic primary constraints and other secondary criteria such as presence of land use conflict and current holding patterns it has been identified that not all existing areas should be retained, some areas require modification to their boundaries and some new areas should be considered. Further detail regarding constraints analysis is summarised in Table 4 below:

Table 4. Constraints Summary of Existing Large Lot Residential

Existing Supply Large Lot Residential						
Supply Area	Total Area	Number of hectares constrained	Comment		Remaining Supply (ha)	Remaining Supply (lots)
Lithgow South						
1(c)	260 ha	209.1ha	SLWCA	Excludes areas of low/very low capability	50.9ha	24lots
			Slope	Excludes areas of low/very low capability		Limited subdivision potential
			This area is heavily constrained by ESA's and SLWCA's. The unconstrained area of supply in this 1 [©] area has been exhausted for further subdivision.			
East Bowenfels						
1(c)	18.2ha	9.7ha	SLWCA	Excludes areas of low/very low capability	8.5ha	1lot
			Slope	Excludes areas of low/very low capability		
			This area is heavily constrained by ESA's and SLWCA's. The unconstrained area of supply in this 1 [©] area has been exhausted.			
Portland South						
1(c)	304ha	193ha	ESA		111ha	25 lots
			This area is very constrained due to ESA.			
Portland North						
1(c)	539.5ha	165.5ha	ESA		374ha	167lots
			This area is very constrained due to ESA.			

Supply Area	Total Area	Number of hectares constrained	Comment		Remaining Supply (ha)	Remaining Supply (lots)
Wallerawang South						
1(c)	165ha	149.3ha	s.117 Data	Silica Quartz	15.7ha	20 lots
			SLWCA	Excludes areas of low/very low capability.		
			Slope	Excludes areas of low/very low capability		
			This area is heavily constrained due to the s.117 directions for protection of mineral deposits. Some existing approved lots remain vacant and will be counted as supply, but there is no further subdivision potential in this area.			
Lidsdale						
1(c)	350.7ha	135ha	s.117 Data	Coal	215 ha	87 lots
			SLWCA	Excludes areas of low/very low capability.		
			Slope	Excludes areas of low/very low capability		
			This main area of constraint are the s.117 directions for coal related minerals. Also the ESA & SLWCA data. The potential for land use conflict in this area is high. The future land use direction recommended for this location must be mindful of this potential conflict. Minimal subdivision has occurred in this area for rural residential development.			

Supply Area	Total Area	Number of hectares constrained	Comment		Remaining Supply (ha)	Remaining Supply (lots)
Clarence						
1(c)	289 ha		s.117 Data	Coal		11 lots
			SLWCA	Excludes areas of low/very low capability		
			Slope	Excludes areas of low/very low capability		
			This area is heavily constrained by ESA and s.117 direction for coal resources. The only remaining supply would be the vacant lots within the Clarence subdivision			
Dargan						
1(c)	197.5 ha		This area is heavily constrained by ESA and s.117 direction for coal resources. The only remaining supply would be the vacant lots within the Dargan subdivision.			14 lots
Hartley						
1(c)	1240 ha	537 ha	SLWCA	Excludes areas of low/very low capability	703 ha	233 lots
			Slope	Excludes areas of low/very low capability	Moyne Farm subdivision approved for 49 lots 09/09. This is in an area of constrained supply but has already been approved.	
			The Hartley area has a remaining lot potential of 184 after existing dwellings are taken into consideration.			

Source: LCC: Table 30 Supply Summary of Appendix 1

The challenge for this Strategy and LEP is to determine whether demand for large lot residential opportunities should be met in each precinct and, if not, then should the shortfall be met and where can it be accommodated.

RELATIONSHIP TO RECOMMENDED SETTLEMENT HIERARCHY

The location of the existing clusters of Zone 1(c), are all generally consistent with the clustered planning approach of the recommended Settlement Hierarchy within this Strategy with the exception of Clarence, Dargan and Hartley.

The Hartley area is the most significant anomaly to the standard settlement hierarchy structure. The area is not physically connected to any town centre, being located approximately 15km from Lithgow, and does not have any service infrastructure. This area, under current planning provisions, has significant growth potential in excess of 100% upon the existing number of dwellings. Such growth could see the area have a population base of approximately 850 persons.

Careful consideration will need to be given to this area within this strategy in determining its future hierarchy placement beyond the short term.

LAND USE CONFLICT

As with all other land use categories the flexibility of the 1994 LEP provisions has increased the potential for land use conflict both within the Zone 1(c) and with adjoining land. The predominant land use is residential, however the combination of large lot sizes and planning provisions such as exempt rural sheds have led to the emergence of secondary land uses which are often "illegal", quasi light industrial and commercial land uses incompatible with the residential nature of the areas.

Other land use conflicts can occur from the keeping of animals such as horses, goats, chickens etc.

These uses can impact upon the residential amenity of the area for those land owners who only use their land for residential purposes.

These issues can be managed effectively through LEP zoning and permissible use provisions and a robust development control plan. The Standard Instrument direction for this form of development is large lot residential. Such a zoning will reflect the predominant use of the land and protect residential amenity. Such an approach will remove the ambiguity created between rural and residential land use.

The challenge for the new LEP is to ensure that the range of permissible uses within this zone, are consistent with the amenity expectations of the community. In particular, all industrial land use should be prohibited.

Land use conflict can and does occur at the interface between these clustered areas and the wider rural zone. This type of conflict is best addressed through the appropriate planning and location of these areas away from environmentally sensitive areas, primary resources, Department of Environment, Conservation and Climate Change and State Forest estates.

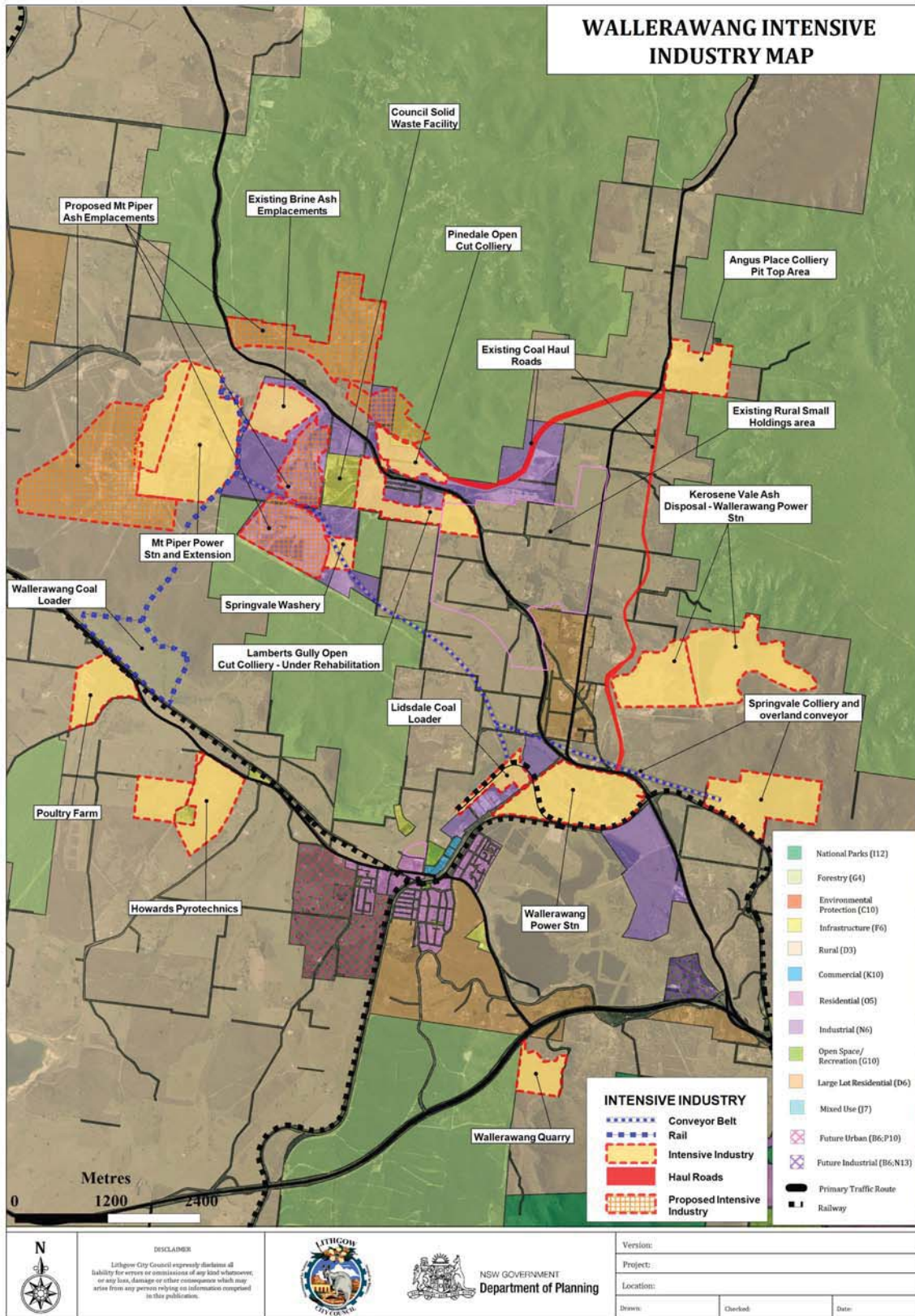
The areas within Lithgow LGA have been available since the early 1990s and the areas are predominantly free of significant interface conflict, except for the Wallerawang South area abutting the Lidsdale State Forest, and the Lidsdale area located between Blackmans Flat and Lidsdale.

The Wallerawang South area has already been subdivided and the majority of lots bordering the State Forest have been developed. Therefore opportunities to minimise conflict through applying a buffer allotment is not

possible. Future conflict may occur due to the approved Wallerawang Silica Quarry, however the Great Western Highway does provide a physical barrier in this location.

The Lidsdale area has had very little take up since its introduction and is located amidst a myriad of incompatible land uses and infrastructure linked to coal mining and power generation. Potential for land use conflict in this location is significant and the opportunity now exists through this Strategy to remove this potential conflict. The extent of this land use conflict is illustrated in Figure 2.

Figure 2. Wallerawang Intensive Industry Map



Note: This figure indicates the land use strategic framework

DISCUSSION OF NEW PLANNING APPROACH

FUTURE LAND REQUIREMENTS

In identifying future land requirements for large lot residential development it is necessary to consider how the supply and demand for this land will be affected by other recommendations of this Strategy and the findings of the constraints analysis.

By adopting a target population growth of 0.5 - 1%pa as identified in this Strategy, and growth management principles based on a recommended settlement hierarchy, the demand on supply of land in each precinct will be challenged in different ways to that identified by current settlement trends. Different settlement scenarios have been utilised to demonstrate how the application of these fundamental planning principles may change the look of the supply and demand across the precincts and land use categories into the future. These scenarios are shown in Table 12 of the Supply and Demand Analysis, Appendix 1.

This table, although representing hypothetical scenarios, serves to indicate that there is sufficient supply of large lot residential lands across the LGA to accommodate a redistribution of demand as a result of restricting supply of larger rural lifestyle allotments as recommended in Chapter 9.

What is also evident is that supply of large lot residential land will be limited in the Lithgow and Wallerawang precincts without new opportunities being identified in this Strategy.

When considering demand, what is also interesting to note is that the demand trends for large lot residential lands appear to fluctuate depending on availability of new standard residential lands. Since 2005 the demand for large lot residential land has fallen, whilst the demand for standard residential has generally increased. This corresponds to the availability of lands in both South Bowenfels and Wallerawang for standard residential development. Refer to Figure 2 of the Supply and Demand Analysis which graphs these trends.

This Strategy will seek to balance demand and provide a diversity of living opportunities.

This Strategy proposes to provide large lot residential opportunities in the following areas.

RURAL NORTH PRECINCT

The Rural North precinct provides little opportunity for large lot residential living.

This is consistent with the recommended Growth Management Principles and Settlement Hierarchy outlined in Chapter 4 to cluster living opportunities around existing town centres and prevent further land use intensification in areas of significant natural and primary resources.

DARGAN (EXISTING)

This area was subdivided in the late 1960s with only 14 vacant lots remaining with no further subdivision potential due to identified land capability.

The existing primary land use of residential will be recognised in this area via a large lot residential land zoning.

CAPERTEE (NEW AND AS MODIFIED FROM VILLAGE)

Although historic demand levels for housing development in Capertee village have been low, the Draft Land Use Strategy recognised that there is a need to enhance growth opportunities in this area for the following reasons:

- To assist with the retention of the existing higher level of services this community enjoys such as an infant/primary school, police station and service station.
- To service the daily needs of surrounding employment land at the Airly coal mine and future coal mining development at Running Stream
- To support and enhance the growing tourism potential of the Capertee Valley.

The options presented in the Draft strategy to achieve the above have been revised in the following manner and as shown in the Figure 3 below .

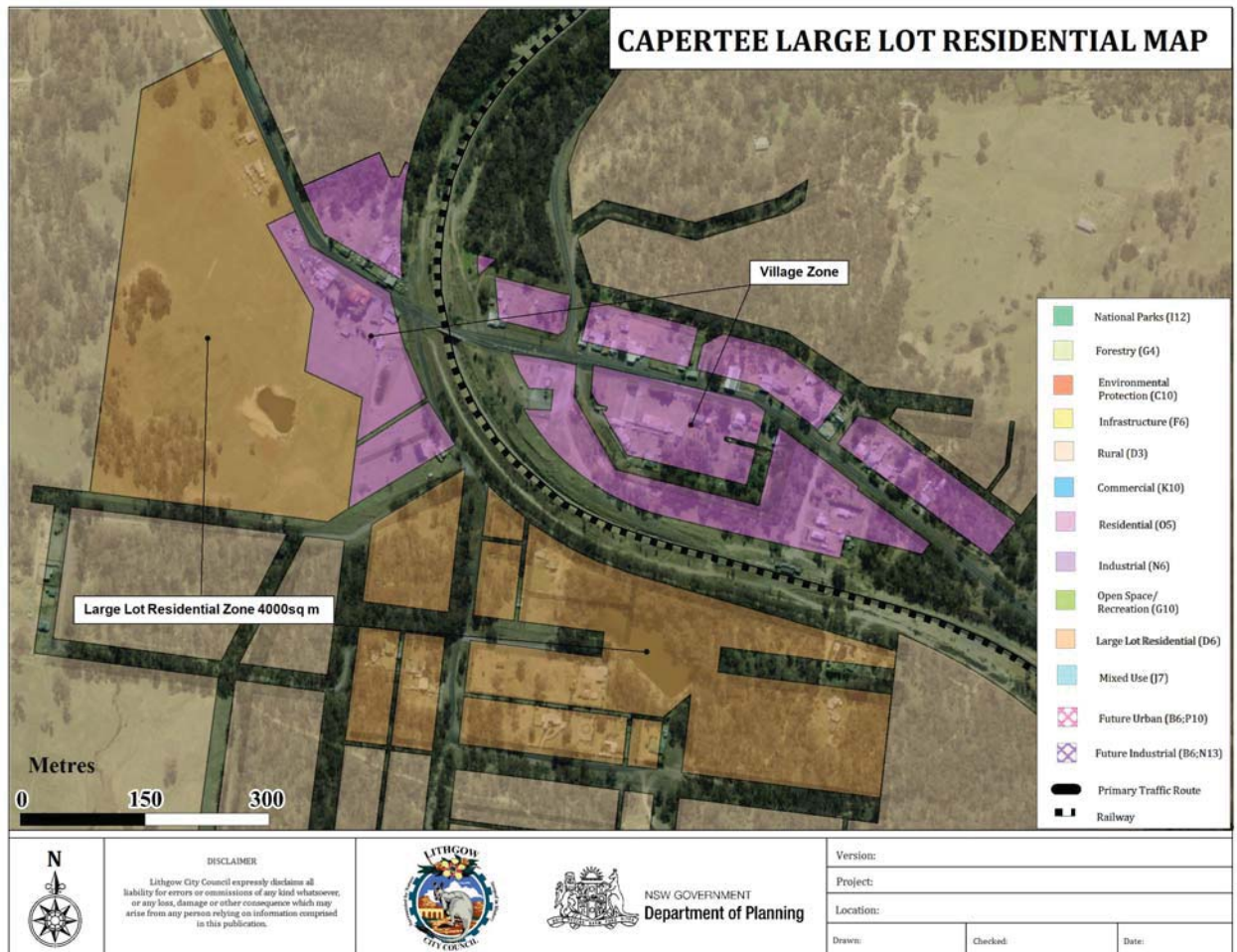
These area would have a minimum lot size of 4000m² applied being the standard adopted by this Strategy for unsewered residential development adjoining existing towns or villages.

Based on land area alone, a maximum potential of 46 new lots having a land area of 4000m² may be created. This number may be reduced due to the presence of constraints in the area, predominantly to the south of the Castlereagh Highway.

Although this area currently contains 59 allotments (43 of which are vacant), due to the current holding and development pattern the majority of new allotments (27 lots) would occur in the new area surrounding the Capertee Hotel.

Allotments and holdings within this area below 4000m² will have no future residential development opportunity.

Figure 3. Capertee LEP Directions



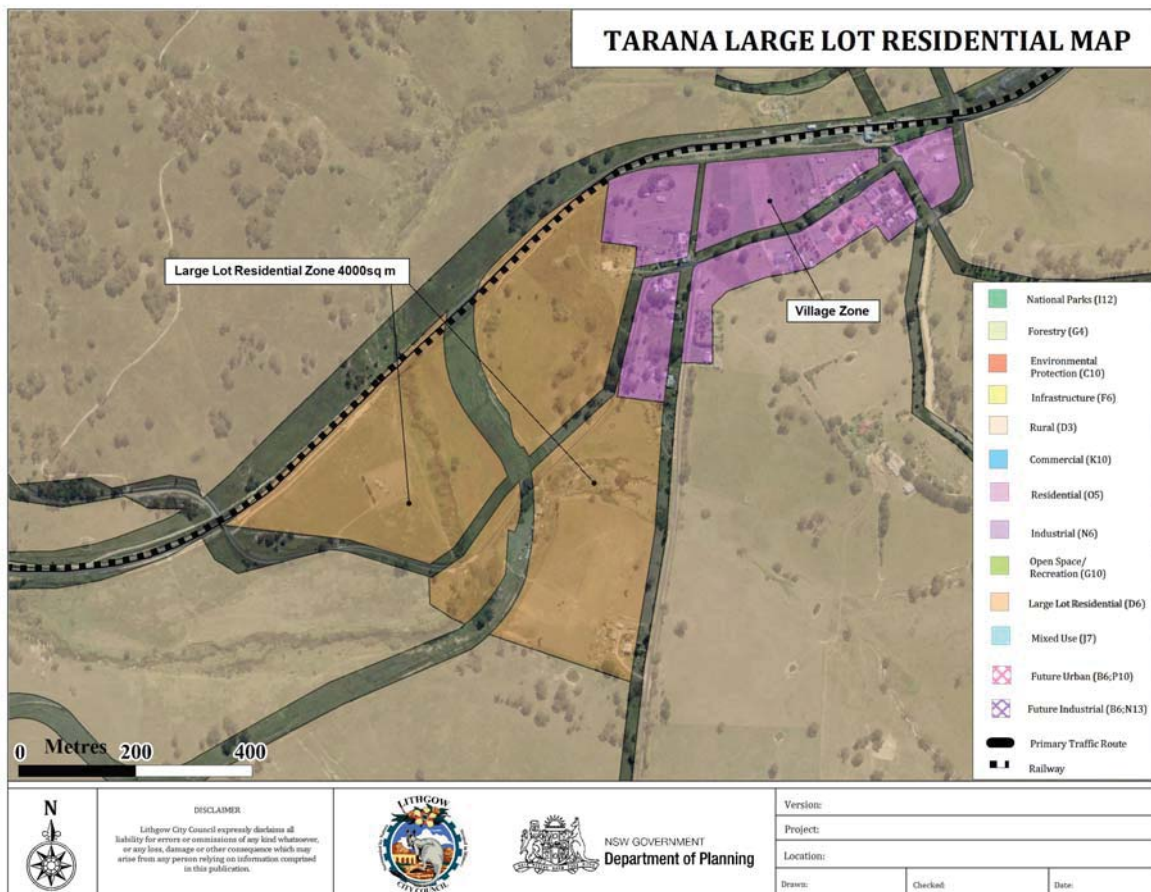
RURAL SOUTH PRECINCT

TARANA (NEW)

It is proposed to provide a small large lot residential area to the east of the modified village area to reflect the existing development pattern of the locality. This area (although being 28ha in area) would, due to the existing holding pattern and location of dwellings, only yield a further 3 lots based on a recommended 2ha minimum lot size.

This area will compliment the modifications to the existing village zone as identified in Chapter 11 and ensure that the future population of Tarana remains consistent with its ability to provide infrastructure and services. As shown in Figure 4 below.

Figure 4. Tarana LEP Directions



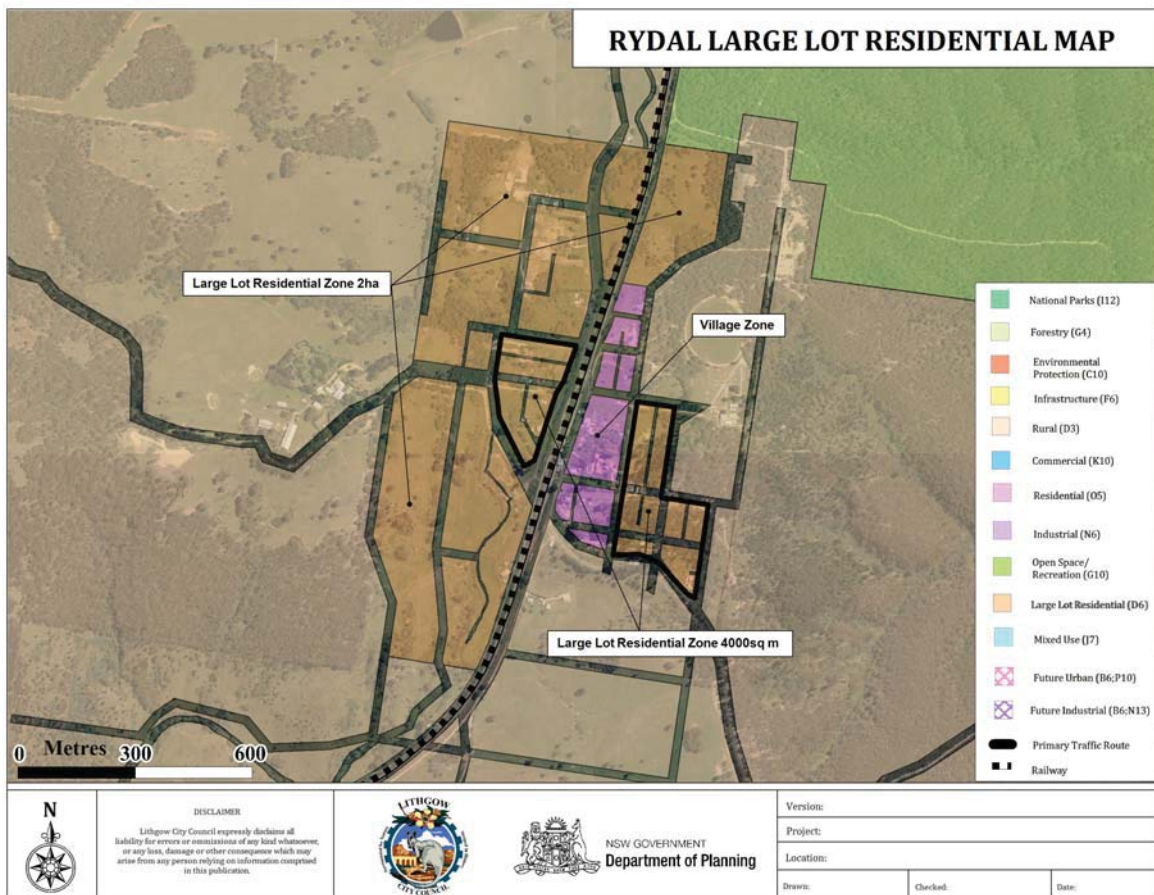
RYDAL (NEW)

It is proposed to provide a new large lot residential area to surround a contracted Rydal village area to the north, east and west as shown in Figure 5 below.

This area will complement the modification of the existing village zone as identified in Chapter 11 and will assist with the future sustainability of the Rydal village community.

This area will have a potential capacity to yield a further 14 allotments under a variable minimum lot size as outlined in Table 8 of Chapter 11.

Figure 5. Rydal LEP Directions



HARTLEY (EXISTING)

This area is the largest area of clustered rural residential lands in the LGA, having an area of 1240ha. The area is dissected by the Great Western Highway and includes local distributor roads being Mid Hartley Road, Browns Gap Road, Coxs River Road and Baaners Lane which connect them to a network of local access roads.

The area exhibits strong cultural heritage with a number of significant heritage items.

The constraints analysis identifies that approximately 537ha of this land is identified as constrained and as such has been removed from supply calculations. However recently, a development approval has been granted

within part of the constrained areas to the south yielding 49 lots, this supply has therefore been added into the overall calculations.

A desktop analysis has revealed that the remaining unconstrained area has the potential to yield 233 lots based on an applied minimum lot size of 2ha.

There is little opportunity to pull back the zoning of this area to account for identified constraints due to the existing and approved development pattern. This area will therefore remain unchanged as a large lot residential area. It is however recommended that robust development control plan provisions be developed to ensure that future land use within this area reflects its varying land capability as reasonably identified by the primary constraints mapping utilised by this Strategy and further onsite assessment.

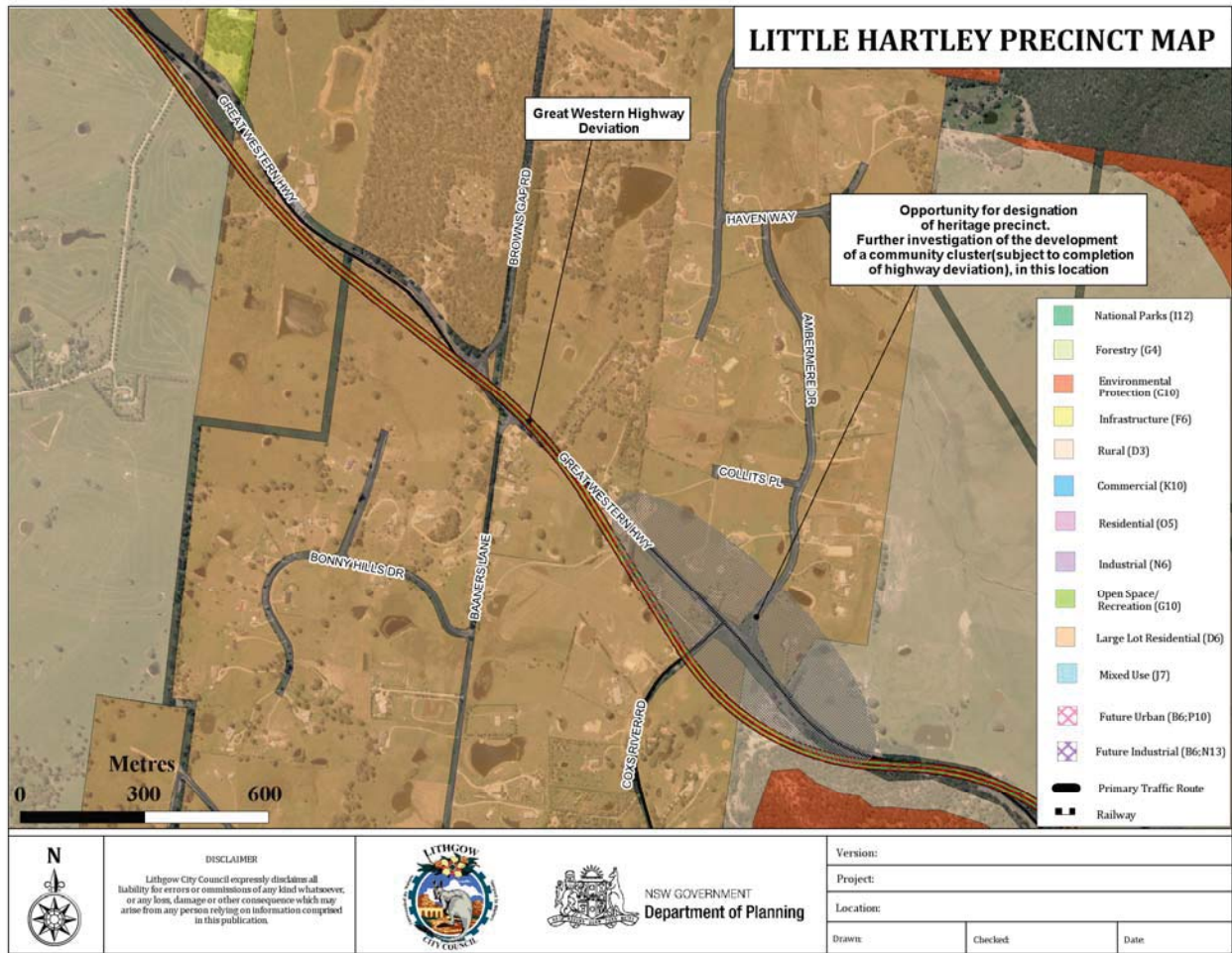
As has been stated previously this area has the potential to grow to a population level consistent with a village order in the settlement hierarchy, however this is inconsistent with the level of service provision to the area.

The application of pure and sound strategic planning principles would suggest that this anomaly should be remedied by restricting further subdivision potential in this location. However this is not a feasible option given the following considerations:

- The length of time that the land has been zoned to allow rural residential development, resulting in significant capital investment decisions made by landowners.
- The level of expectation of future land use and tenure created through zoning.
- The need for equity in planning decisions.
- The fragmented and dispersed nature of existing subdivisions.
- The primary residential amenity and character established within the area.

This Strategy must then consider how best to manage this area into the future. The preferred route of the Great Western Highway deviation provides an opportunity for a small central “village” area to be created to enable some limited small scale commercial and community activity to service the surrounding area and encourage tourism potential. The deviation provides a defined extent of this area as shown in Figure 6.

Figure 6. Little Hartley Precinct Map



Source: LCC

This area should not however be rezoned until the highway deviation is complete. At this time careful consideration will need to be given in the LEP in defining the extent of permissible land uses. Such land use will need to be compatible with the role of the area within the settlement hierarchy, the heritage significance of the area and the overall desired future sense of place and character.

CLARENCE (EXISTING)

This area was subdivided in the late 1960s with only 11 vacant lots remaining with no further subdivision potential due to identified land capability.

The existing primary land use of residential will be recognised in this area via a large lot residential land zoning.

LITHGOW PRECINCT

MAGPIE HOLLOW ROAD (NEW)

The area to the south of Magpie Hollow Road is currently reserved for future urban land use. It has a land area of 34.9ha of which 10.7ha has been identified as constrained.

Magpie Hollow Road provides a good physical delineation to the urban areas of Lithgow. This land to the south provides an opportunity to provide a transitional interface between standard urban and rural density.

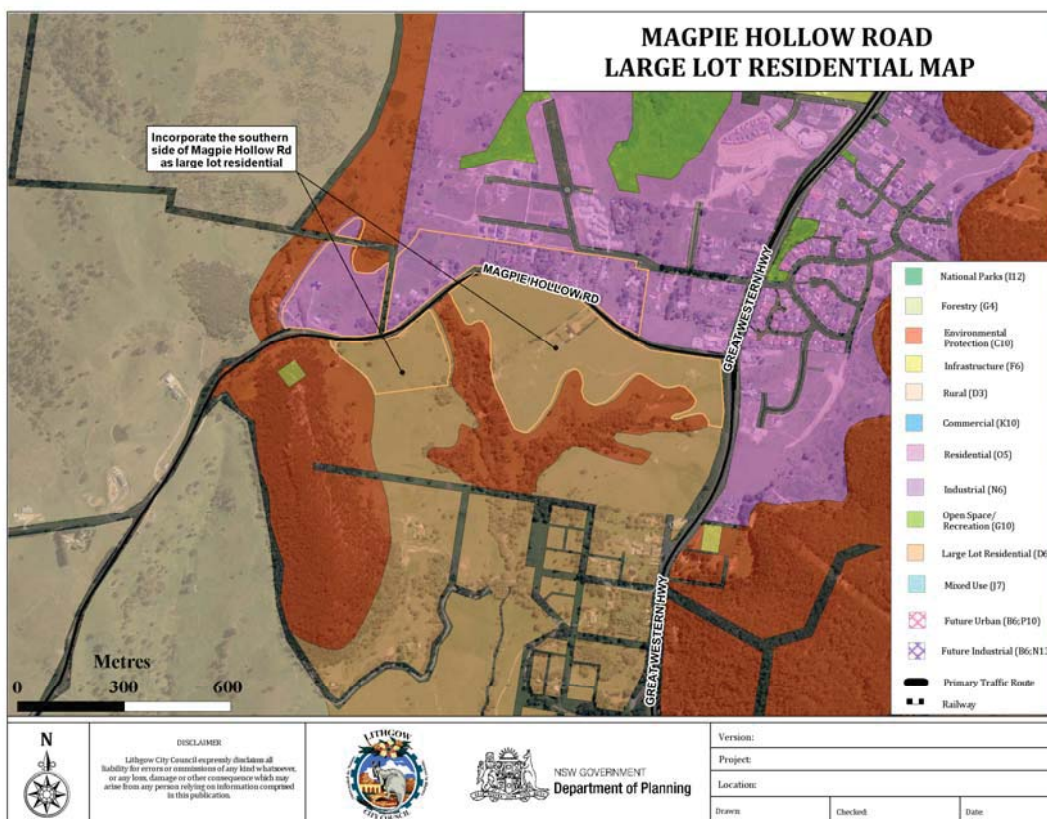
The provision of large lot residential in this location would fulfil the lack of this form of living opportunity within the Lithgow precinct and enable the land to better respond to its varying land capability and sensitivity.

The land is able to be fully serviced which provides a unique opportunity for larger living allotments on the fringe of the major town centre of Lithgow.

The LEP would need to consider an appropriate minimum allotment size for this area. Based on a conservative hypothetical minimum lot size of 4000m², the area has the potential to yield 60 allotments. At 2000m² the area may yield 120 allotments.

The area to be considered for zoning change is identified in Figure 7.

Figure 7. Areas considered for zoning change.



LITHGOW SOUTH/ MCKANES FALLS (EXISTING)

This area has an area of 260ha of which 209.1ha has been identified as being constrained by one or more of the primary constraints.

A desktop analysis has revealed that the unconstrained land area may yield a further 24 lots based on an applied 2ha minimum allotment size, however due to the existing development pattern and location of existing dwellings, this area may be essentially exhausted for further subdivision.

The level of constraints within this area is high, however given the existing pattern of development it is considered that little may be gained by back zoning and would potentially sterilise small areas of land with suitable capability.

Future land use intensification within this area should be guided by robust development control provisions to ensure that such land use reflects its varying land capability as reasonably identified by the primary constraints mapping utilised by this Strategy and further onsite assessment.

EAST BOWENFELS /COOERWULL ROAD (EXISTING)

This area is an island of land having an area of 18.2ha of which 9.7ha is identified as being constrained.

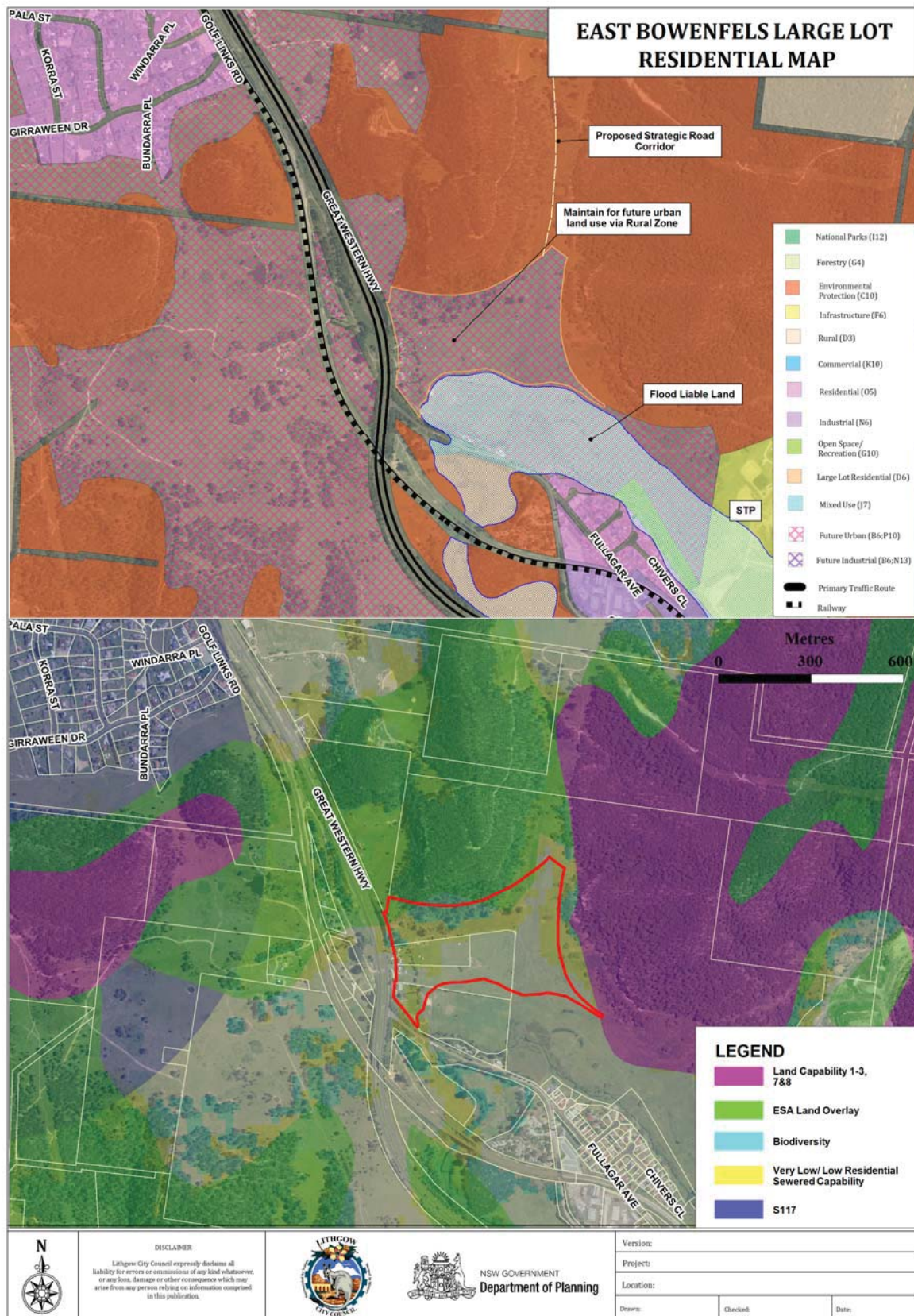
Potential lot yield of the unconstrained land would be four lots applying a 2ha minimum lot size, three of which already have a dwelling erected.

This area within its wider geographical context as shown in Figure 8 presents further issues to be addressed including:

- Identification and preservation of a road corridor to link the future urban area of Marrangaroo to Lithgow via Coerwull Road.
- Consideration of the environmentally sensitive areas at the foot of the surrounding vegetated hills.
- Maintaining a buffer from the existing Sewage Treatment Plant.
- Identification of the flood affected areas from Farmers Creek.

Until these issues can be resolved to identify the urban capability of this land, it is recommended that this area and its surrounds be back zoned to a rural zone.

Figure 8. East Bowenfels Large Lot Residential Map



WALLERAWANG PRECINCT

WALLERAWANG EAST/BARTON AVE (NEW)

This area includes 64ha of land and is currently zoned Village. 56.2ha of this area has been identified as being constrained by one or more of the primary constraints as identified in Figure 50 Appendix 1.

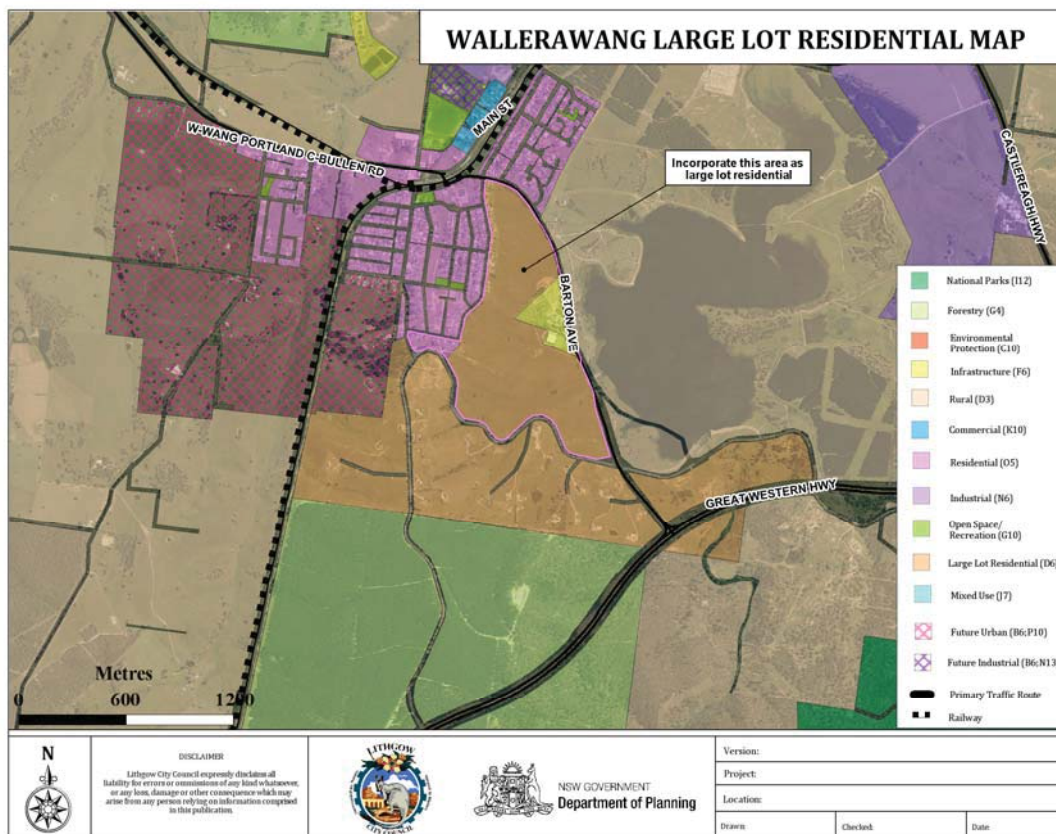
The land surrounds the existing public school and indoor sports stadium.

The land has limited capability for standard residential development, but would have varying capability for large lot residential. This area would be able to be fully serviced enabling this area to form a transitional interface between standard residential development and the larger rural lots to the south.

It is recommended that the area be back zoned to provide for serviced large lot residential allotments with an appropriate minimum lot size to enable a range of lot sizes to reflect the varying capability and infrastructure capacity of the land. The land would adjoin the existing area zoned for this use as shown in Figure 9 below.

It is further recommended that robust development control plan provisions be developed to ensure that future land use within this area reflects its varying land capability as reasonably identified by the primary constraints mapping utilised by this Strategy and further onsite assessment.

Figure 9. Wallerawang Large Lot Residential Map



WALLERAWANG SOUTH (EXISTING)

This area has an area of 165ha. This area has been identified as being highly constrained by one or more of the primary constraints. In particular the land is constrained for further development by the application of the Section 117 buffer area for the Wallerawang Silica Quartz Resource located on the opposite side of the Great Western Highway. This coupled with the existing development pattern limits further subdivision potential of this area.

A desktop analysis has revealed that 20 allotments remain vacant and therefore contribute to future supply.

It is recommended that this area remain identified for large lot residential land use. The LEP is to consider an appropriate minimum lot size or other appropriate provisions to limit further subdivision potential in the short term.

LIDSDALE (MODIFIED)

There is currently an area of zoned Rural Small Holdings 1(c) located in between Lidsdale and Blackmans Flat. This is a large area of 350.7ha and is dissected by the Castlereagh Highway. It is indicated through the constraints analysis that 135.7ha of this land is constrained by one or more of the primary constraints. As indicated in Figure 47 Appendix 1.

To date there has been very low take-up in this area resulting in little change to the land holdings. A desktop analysis revealed that there are twenty dwellings located within this area.

As stated previously this area is in close proximity to coal mining, coal related developments and infrastructure such as coal haul roads. It therefore has significant potential for unresolvable land use conflict should the land use intensify into a developed large lot residential area with the ability to net a further 87 allotments based on an applied 2ha minimum lot size.

This Strategy recommends that this area be back zoned to a more appropriate rural zoning with the primary focus being rural and primary production land use.

It is further recommended that this area be replaced by a modification to the existing Lidsdale Village Zone to provide for large lot residential land use as indicated in Figure 10. This new area will have an unconstrained area of 54.5ha. This approach not only reflects current land use and development density within this area but also serves to reinforce the recommended settlement hierarchy through ensuring that future commercial activity takes place within the Wallerawang town centre.

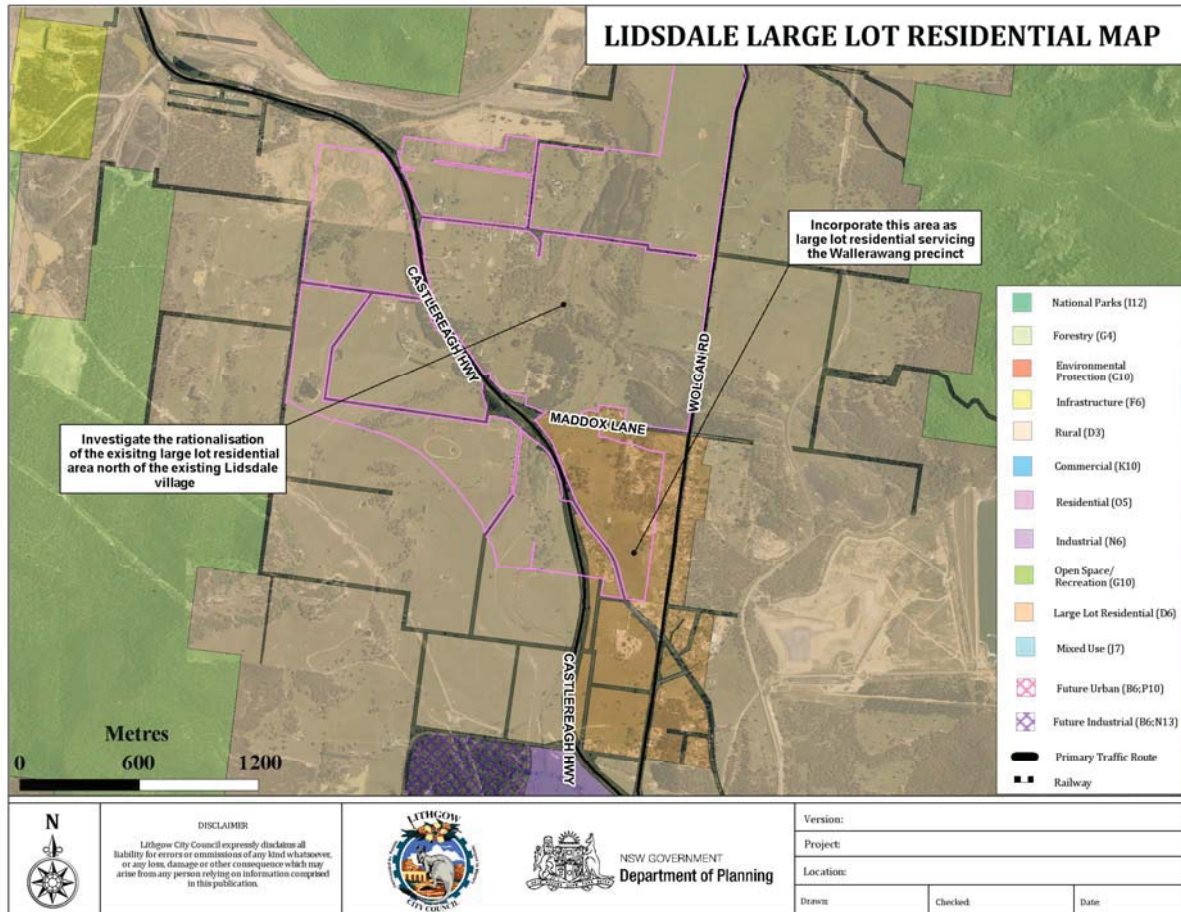
Having regard to the existing development and holding pattern this area may contribute approximately 272 large lot residential allotments based on a hypothetical applied minimum lot size of 2000m². Development will be predominantly on the western side of Wolgan Road.

The LEP will need to determine an appropriate minimum lot size to retain the existing low density and character of the area, whilst ensuring that land is not unnecessarily sterilised.

This area will serve to fill the shortfall of supply for this form of living within the Wallerawang precinct following the removal of the existing zoned area.

Development within this area will need to be guided by robust development control provisions to consider lot layout and design, built form and scale to ensure that the desired future character of the area is achieved.

Figure 10. Lidsdale Large Lot Residential Map



PORTLAND PRECINCT

PORTLAND SOUTH (EXISTING)

This area adjoins the existing village zone to the south of Portland and has an area of 304ha, of which 193ha has been identified as being constrained by one or more of the primary constraints.

The area is dissected by two major local roads being Sunny Corner Road and Range Road as well as a minor local road being John Mackey Drive.

Having regard to the identified constraints and existing development pattern, it has been identified that the area may yield a further 25 allotments based on an applied 2ha minimum lot size.

It is recommended that this area remain identified for large lot residential land use supported by robust development control provisions to guide future development.

PORTLAND NORTH (EXISTING)

This area adjoins the existing village zone to the north of Portland and has an area of 539.5ha, of which 165.5ha has been identified as being constrained by one or more of the primary constraints.

The area is dissected into four parts by Cullen Bullen Road, the Main Western Railway and Back Cullen Road.

Having regard to the identified constraints and existing development pattern, it has been identified that the area may yield a further 167 allotments based on an applied 2ha minimum lot size.

It is recommended that this area remain identified for large lot residential land use supported by robust development control provisions to guide future development.

PORTLAND (NEW AND AS MODIFIED FROM VILLAGE)

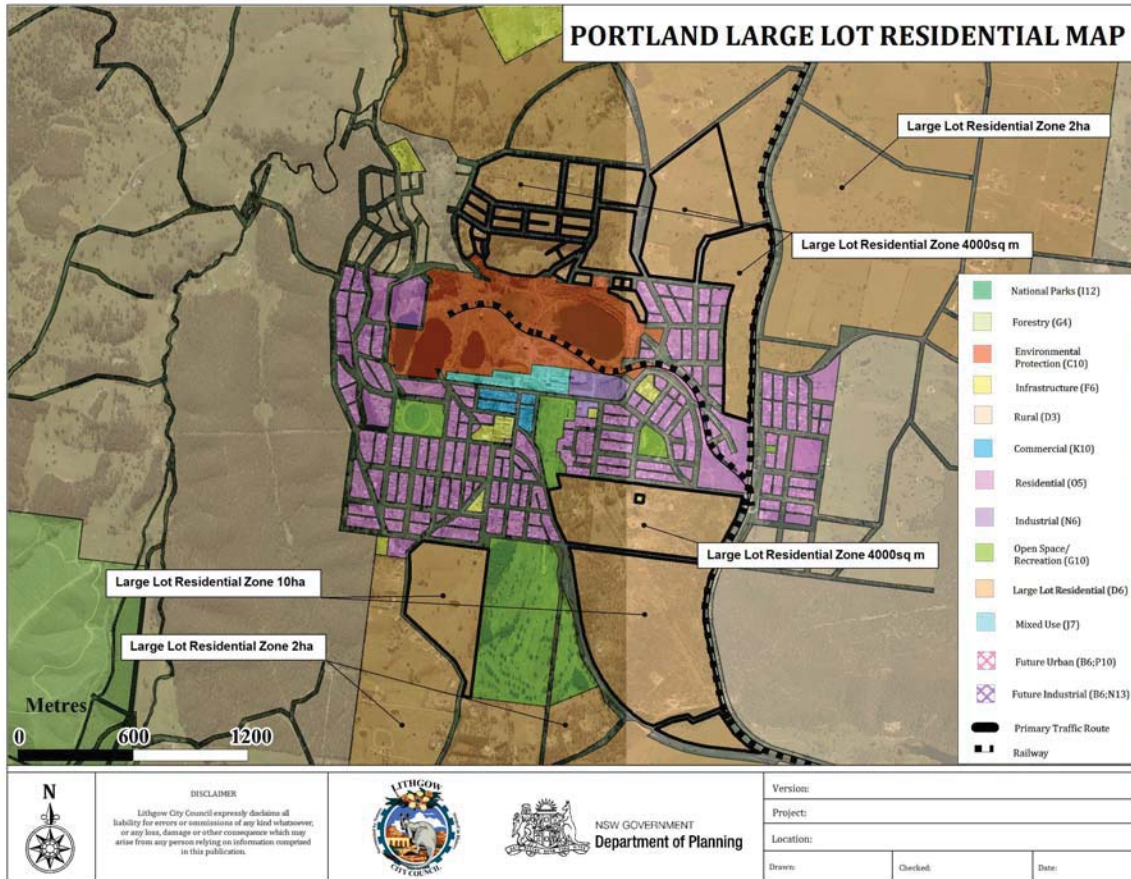
It is further proposed to change the future land use allocation of the following areas as shown in Figure 11 in Portland to form new large lot residential areas:

- An area of 52.6ha of land adjoining the Portland Village zone to the east of Wallerawang Road which is currently zoned Future Urban 1(d), highly constrained and given the current development pattern of 10ha lots is not likely in the future to add to standard urban supply. The area will have a minimum lot size of 10ha.
- An area of 21.9ha of land south of Falnash St that is currently zoned Village 2(v). This area is being removed from residential supply in the short term to reduce pressure on sewage infrastructure. It remains in the strategic framework as an area for future urban land use. A minimum lot size 10ha is to be applied to prevent fragmentation for large lot residential use that would prevent its future urban potential. All future subdivision of this area should be designed so as to not prejudice its future role for standard residential development.
- An area of 31ha of land south of Purcell Street that is currently zoned Village 2(v) is predominantly constrained and would benefit from the lower density land use of large lot residential. As the area cannot in the short term be provided with reticulated sewer, the minimum lot size for this area should be 4000m², being the standard to be adopted by this Strategy for unsewered residential lands.

An area of approximately 88 ha to the north of Roxburgh St and east of High St that is currently zoned Village 2(v). This area is being removed from standard residential supply in the short term to reduce pressure on sewage infrastructure. It remains in the strategic framework as large lot residential with the potential to be serviced large lot residential in the longer term. In the interim this area will have a 4000m² minimum lot size applied being the standard recommended by this Strategy for unsewered residential lands.

The new LEP directions for Portland are shown in figure 11 below:

Figure 11. Portland LEP Directions



REVISED SUPPLY AND DEMAND SCENARIOS

Table 5 below indicates the differences between the existing supply of large lot residential land in each precinct and the supply that would be available should all recommendations of this strategy be implemented. The revised supply is adequate to meet the current demand anticipated over the next 20 years in all precincts.

Table 5. Revised Supply & Demand

Current & Proposed Demand And Supply By Precinct/Land Use			
Zone/Precinct	Current Land Supply	Revised Supply from LUS	Current Dwelling Demand to 2031(20yrs)
Lithgow			
Residential	1352 (46.6yrs)	1352 (46.6yrs)	580
Rural	141 (37.6yrs)	141 (37.6yrs)	75
Large Lot Residential	25 (12.5yrs)	146 (72yrs)	40
Precinct Total	1518	1639	704
Wallerawang			
Rural	103 (79yrs)	103 (79yrs)	26
Large Lot Residential	107 (53.5yrs)	341 (170.5yrs)	40
Residential	396 (66yrs)	190 (31yrs)	123
Precinct Total	606	634	195
Portland			
Rural	99 (66yrs)	99 (66yrs)	30
Large Lot Residential	192 (38.4yrs)	334(70yrs)	95
Residential	801 (133.5yrs)	84(14yrs)	116
Precinct Total	1092	517	244
Rural Nth			
Rural	1930 (241yrs)	1019 (127yrs)	160
Large Lot Residential	11 (5.5yrs)	57(28.5yrs)	40
Village	42 (84yrs)	15(30yrs)	9
Precinct Total	1983	1091	209
Rural Sth			
Rural	1272 (76yrs)	763 (44yrs)	346
Large Lot Residential	247 (22.45yrs)	271 (24yrs)	221
Village	33 (16.5yrs)	4(2.5yrs)	32
Precinct Total	1552	1038	599
Total	6751	4919	1951 dwellings

The scenarios show an improved distribution within each planning precinct where large lot residential development is considered appropriate.

Table 6 indicates, although representing hypothetical scenarios, that should all recommendations of this Strategy be implemented that there remains sufficient supply of large lot residential lands across the LGA to accommodate a redistribution of demand as a result of restricting supply of larger rural lifestyle allotments as recommended in Chapter 9.

Table. 6 Scenarios of Large Lot Residential

Zone /Areas	Scenario One Demand Share	Demand over 20 years	Supply in Years	Estimated Supply	Scenario Two Demand Share	Demand over 20 Years	Supply in Years
Large Lot Res							
Lithgow	5%	98	36yrs	146	5%	98	29.8yrs
Portland	5%	98	83yrs	334	10%	196	34yrs
Wallerawang/ Lidsdale	3%	58.8	170yrs	341	5%	98	69.6yrs
Clustered Rural Lifestyle (Tarana, Rydal, Capertee, Clarence, Hartley & Dargan)	14%	274	23.9yrs	328	5%	98	66.9 yrs

DETERMINING AN APPROPRIATE MINIMUM LOT SIZE FOR LARGE LOT RESIDENTIAL LANDS

The current complex provisions within the Lithgow City Local Environmental Plan 1994 should not be retained.

Having regard to the variation of capability of lands identified for large lot residential land use it is considered the LEP should adopt varying minimum lot sizes for individual areas across the LGA. The new LEP in determining appropriate minimum lot sizes should have regard to the following:

- The identified environmental capability of the land through application of the primary constraints mapping and further on-site assessment.
- The identified infrastructure capacity of the area.
- The holding and development pattern of the area.
- The identified role of the area within the recommended settlement hierarchy.
- The desired future character of the area determined through community consultation.

Except as otherwise stated in this Strategy a new minimum lot size of 2HA for unserviced large lot residential areas is recommended. This removes the current 1HA minimum lot size currently applied. Allotments of less than 2ha previously created with development approval will retain their dwelling entitlement in the new LEP through a savings provision.

A minimum lot size for serviced large lot residential areas of 2000sqm is recommended.

SUMMARY OF KEY ACTIONS

Action 10.1

- Adopt the Growth Management and Sustainability Principles and Settlement Hierarchy as outlined in Chapter 4 of this Strategy and ensure all future large lot residential living opportunities are located within the 15km maximum outer limit as indicated by Layer 3 Figure 4 Chapter 4.

Action 10.2

- Retain and appropriately zone existing areas (excluding the Lidsdale and East Bowenfels/Coerwull Rd area) of rural small holdings to large lot residential in the Lithgow City 2012 LEP.

Action 10.3

- Introduce the following minimum lot sizes for large lot residential areas in the Lithgow City 2012 LEP unless otherwise indicated in this Strategy.
 - Serviced (water and sewer) 2000sqm; and
 - Unserviced 2ha

Action 10.4

- Introduce a new large lot residential area in the Lithgow City 2012 LEP to the west of the Tarana village as indicated in Figure 27 in Chapter 14.

Action 10.5

- Alter the land use zone for the area to the south of Magpie Hollow Road to provide for fully serviced large lot residential development in the Lithgow City 2012 LEP as indicated in Figure 7.

Action 10.6

- Back zone the existing Lidsdale Rural Small Holdings zone to a primary production rural zone in the Lithgow City 2012 LEP to minimise land use conflict and reflect the capability of the land as indicated in Figure 10.

Action 10.7

- Back zone the existing Lidsdale Village to a large lot residential and incorporate part of the area of the existing Lidsdale Rural Small Holdings zone to the west bounded by the Castlereagh Highway in the Lithgow City 2012LEP as indicated in Figure 10.

Action 10.8

- Back zone the land to the west of Barton Ave Wallerawang to provide for large lot residential in the Lithgow City 2012LEP as indicated in Figure 9.

Action 10.9

- Back zone the existing East Bowenfels Rural Small Holdings zone to a rural or environmental zone in the Lithgow City 2012 LEP as a holding mechanism to prevent further fragmentation and investigation of the urban capability of the land.

Action 10.10

- Extend the large lot residential areas to the south of Portland in the Lithgow City 2012 LEP by:
 - Altering the zone of the areas to the south of Purcell Street Portland, bounded by the Western Railway and Wallerawang Road to large lot residential as indicated in Figure 11. This area to have a 4000m² minimum lot size.
 - Back zoning the parcel of land to the east of Wallerawang Road to large lot residential as indicated in Figure 11. This area to have a minimum lot size of 10ha.
 - Back zoning the parcel of land bounded by Falnash St, Portland Sunny Corner Road and the Golf course to large lot residential as indicated in Figure 11. This area to have a 10ha minimum lot size as a holding mechanism for future urban land use.

Action 10.11

- Extend the large lot residential area to the north of Portland in the Lithgow City 2012 LEP by:
 - Back zoning the areas to the north of Roxburgh St and east of High Street to large lot residential as indicated in Figure 11. This area to have a 4000m² minimum lot size.

Action 10.12

- Alter the land use zones at Capertee to provide for a new large lot residential zone to the south and east of Castlereagh Highway as shown in Figure 3.

Action 10.13

- Alter the land use zones at Rydal to provide a new large lot residential zone as shown in Figure 5.

Action 10.14

- Alter the land use zones at Tarana to provide a new large lot residential zone as shown in Figure 4.

Action 10.15

- Use Environmentally Sensitive Area mapping to inform the identification of new zones, land use permissibility, and /or assessment criteria defined by overlays to apply to large lot residential areas within the Lithgow City 2012 LEP.

Action 10.16

- Prepare a Development Control Plan to provide effective and appropriate land use management guidelines for large lot residential development areas.

Action 10.17

- Prepare and administer a land monitor to track the demand and take-up of large lot residential areas.