

DEVELOPMENT ASSESSMENT REPORT - 057/11DA

DUAL OCCUPANCY/ TOURIST FACILITY - 79 JERRYS MEADOW ROAD SODWALLS NSW 2790

1. PROPOSAL

Council is in receipt of Development Application 057/11 from S. Dearin for a proposed dual occupancy to be used for a bed and breakfast (tourist facility) on Lot 51 in DP 1131349, 79 Jerrys Meadow Road, Sodwalls.

The subject lot currently retains a dwelling and garage onsite with established driveway from Jerry's Meadow Road. The site is relatively clear retaining minimal trees. The proposed tourist facility (short term accommodation) would have a maximum of 6 adults and 2 children including the permanent residents. One sign is proposed within the property visible from Jerry's Meadow Road and car parking will be available onsite.

The single storey dwelling to be used as a bed & breakfast and includes two guest bedrooms with ensuists, one residents/manager bedroom, residents/manager bathroom, 2 laundries, residents living, guest sitting/dining, kitchen/dining and a garage with shower and laundry with total area 314m².

2. SUMMARY

To assess and recommend determination of 057/11DA. Recommendation will be for approval subject to conditions

3. LOCATION OF THE PROPOSAL

Legal Description : Lot 51 DP 1131349
Property Address : 79 Jerrys Meadow Road, Sodwalls

4. ZONING: The land is zoned 1(a) General Rural in accordance with Lithgow City Local Environmental Plan 1994.

5. PERMISSIBILITY: The proposed development is a dual occupancy to be used for a tourist facility and is considered permissible under Lithgow City Council's Local Environmental Plan 1994, subject to development consent. The proposal is similar to a Bed & Breakfast, however as 2 dwellings will exist on the property it may be managed by someone other than the permanent residents of the property. Accordingly, it will be considered as a Tourist Facility.

'dual occupancy' means development which would result in two dwellings but no more on an allotment of land.

'tourist facilities' means an establishment providing for holiday accommodation or recreation and may include a boat shed, boat landing facilities, camping ground, caravan park, holiday cabins, hotel, house boat, marina, motel, playground, refreshment room, water sport facilities or a club used in conjunction with any such activities.

5.1 POLICY IMPLICATIONS (OTHER THAN DCP's)

Nil.

5.2 FINANCIAL IMPLICATIONS (eg Section 94)

Lithgow City Council Section 94A Development Contributions Plan 2012

The Development Application was submitted prior to the implementation of the 2012 Plan and therefore, no contributions are applicable under the plan.

5.3 LEGAL IMPLICATIONS

Environmental Protection and Biodiversity Conservation Act 1991

No federally listed Threatened Species or Endangered Ecological Community is required to be cleared as a result of this application. Accordingly, there are no legal implications of this act on the proposed development.

Local Government Act 1993

If this application is approved, the applicant must obtain a written Section 68 application for onsite wastewater management system. This must be lodged and approved prior to commencement of any work on site and shall be at full cost to the applicant.

The Section 68 application requires the submission of all detailed engineering drawings/design, specifications and any applicably supporting information for the proposed works. All conditions of the Section 68 Approval must be complied with prior to final occupation.

Native Vegetation Act 2003

Minimal native vegetation is required to be cleared as a result of this application. It is considered that given the vegetation is scattered around this property and minimal vegetation is to be removed for the proposal that there are no legal implications of this act on the proposed development.

Threatened Species Conservation Act 1995

No state listed Threatened Species or Endangered Ecological Community is required to be cleared as a result of this application. Accordingly, there are no legal implications of this act on the proposed development.

Environmental Planning and Assessment Act 1979

In determining a development application, a consent authority is required to take into consideration the matters of relevance under Section 79C of the *Environmental Planning and Assessment Act 1979*. These matters for consideration are as follows:

5.3.1 Any Environmental Planning Instruments

Lithgow City Local Environmental Plan 1994

LEP 1994 – Compliance Check		
	Clause	Compliance
9	1(a) zoning table	Yes
11	General Considerations for development in rural zones	Yes
17	Erection of a dwelling in Zone No 1 (a)	Yes
19	Dual occupancy development	Yes

35	Bed and breakfast establishments	Yes
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Comment:

The proposed dual occupancy/ tourist facility is consistent with the zone objectives, allowing for continued agricultural uses and not impeding on surrounding land uses. The proposal will be undertaken in a manner that removes minimal vegetation and does not affect surrounding watercourses. It is perceived that the proposal will not impact on potential land uses and is considered suitable for the property.

State Environmental Planning Policy (Rural Lands) 2008

SEPP (Rural Lands) 2008 – Compliance Check		
Clause		Compliance
10	Matters to be considered in determining development applications for rural subdivisions or rural dwellings	Yes

Comment:

The proposal is to be in an established rural area, allowing for a use that is sympathetic and compatible to the surroundings. It is expected that the development will have minimal impact on the surrounding rural lands and is considered acceptable under the SEPP.

State Environmental Planning Policy 44 – Koala Habitat Protection

SEPP 44 is applicable to site given that it exceeds 1ha in size and is located within the Lithgow Local Government Area to which the SEPP applies. Part 2 of the SEPP requires Council to consider whether the land the subject of the application retains potential and subsequently core koala habitat.

The SEPP provides the following definitions:

core koala habitat means an area of land with a resident population of koalas, evidenced by attributes such as breeding females (that is, females with young) and recent sightings of and historical records of a population.

potential koala habitat means areas of native vegetation where the trees of the types listed in Schedule 2 constitute at least 15% of the total number of trees in the upper or lower strata of the tree component.

Many of the trees listed within Schedule 2 of the SEPP are common within the Lithgow Local Government area, however core koala habitat within this area is rare, with only 12 koala sightings ever reported on private land within the LGA. The nearest to the subject sight being over 3kms away within the National Park.

Clause 17 of the SEPP states that Council's must take into consideration the guidelines that are relevant to the exercise of the function.

The Draft SEPP 44 Guidelines (1996) by NPWS allows the following courses of action:

4. Facilitation of certain development proposals

Having undertaken a review of existing information and some preliminary site investigations, an applicant may, with the written agreement of the consent authority and following advice from the NPWS, adopt one of the following courses of action.

- (i) Conclude that an area does not contain koala habitat by virtue of its nature or location (for example, the site is devoid of trees or located in the centre of a CBD) and that there is no need to proceed further with the SEPP 44 assessment.
- (ii) Conclude that the proposed development, by its nature, would not alter the situation presently existing on the site for koalas and koala habitat (for example, minor extension to a dwelling).

Comment: Given that minimal trees are to be removed as part of the development and that the vegetation is isolated from larger areas of dense vegetation, it is considered unnecessary to proceed further with SEPP 44 assessment.

5.3.2 Any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority

None.

5.3.3 Any Development Control Plan

Bed & Breakfast DCP

Although the proposed development has been defined as a tourist facility, it resembles a Bed & Breakfast and therefore the DCP has been used as a guide to assess the development.

B & B DCP – Compliance Check		
Clause		Compliance
2	The objectives of the Plan	Yes
3(i)	Operational requirements	Yes
3(ii)	Services	Yes
3(iii)	Parking	Yes
3(iv)	Other	Yes
3(v)	Advertising signs	Yes
3(vi)	Sound Transmission	Yes
4(a)	Health & Amenity Standards	Yes
4(b)	Fire Safety	Yes
5	General	Yes

Comment:

The proposed development complies with the B&B DCP were appropriate in regards to abovementioned Clauses. It is considered that the development will not impact on surrounding amenity and will be completed in accordance with the plan where applicable.

5.3.4 Any planning agreement that has been entered into under Section 93F, or any draft planning agreement that a developer has offered to enter into under Section 93F?

No.

5.3.5 Any matters prescribed by the regulations that apply to the land

Please refer to the Council Building Inspectors recommendations as assessed under the appropriate regulations.

5.3.6 The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

Access:

The access is via an existing driveway off Jerrys Meadow Road and has been assessed by Council engineers for any required upgrades. It is recommended that upgrading of this access is done in accordance with conditions of consent proposed by the Council Engineers detailed under 'submissions made in accordance with the Act'.

Public Road

The property adjoins a public road known as Jerrys Meadow Road in which the property gains access from. This road is owned and maintained by Council and should not be significantly impacted by this development due to the minimal increased traffic proposed.

Bushfire:

The land is not bushfire prone land, however a bushfire risk assessment report has been provided by the applicant and all recommendation detailed in this report should be followed for the property.

Water:

As the site is not connected to the reticulated system the new dwelling on the land would be required to provide a minimum of 45000 litres of water in accordance with Council's standards. The applicant is to ensure that all potable water supplies used on the premises comply and are maintained to comply with the Australian Drinking Water Guidelines 6 – 2011 and therefore an appropriate condition of consent will be placed on the development if approved.

Social and Economic Impact:

The proposed development will help tourism by providing alternative accommodation in an agricultural area. It is considered that the construction of the dwelling will also contribute to the local economy by providing employment. Therefore, the proposal is having a positive social and economic impact on the surrounding communities.

Adjoining Landuse:

The surrounding development is typical of rural landuses with the scale of the proposal similar to that of surrounding development. It is considered that the development would have minimal impact on the adjoining landuses given the nature of the proposal.

Effluent disposal:

It is noted that no geotechnical report for the proposed on-site sewerage management system was submitted with the DA, however as the proposed tourist facility/dwelling is outside the SCA area, this can be requested separately in determining an effluent disposal system. Inspection of the site and found that the proposed building will not impact on the existing effluent disposal system and the existing absorption trenches for the current dwelling. Additionally it is considered that there is sufficient land area available for an on-site sewerage management system for the proposal and is to be considered prior to any works being undertaken.

5.3.7 The Suitability of the site for the development

The surrounding land uses are for rural/residential pursuits with the size and nature of the development being consistent with those in the surrounding area. The site is

considered to be suitable for the proposed development and compatible with the objectives of the zone.

5.3.8 Any submissions made in accordance with this Act or the Regulations

The proposal was referred to the Council's Engineers and Building Officer for commenting and detailed below. The proposal was also sent to adjoining neighbours and placed on public display in Council's Administration Building for a period of 14 days in which one submission was received as below.

Council Engineers

1. All access to the property off Jerrys Meadow Road shall have a minimum of 150mm of DGB-20 road base applied and compacted providing a smooth transitional surface. Access is to be constructed providing a minimum entry splay of 6 meters in width, tapering back into a minimum 4.0 metre wide internal access road.
2. All access will be required to have a minimum of 160m sight distance in both directions along Jerrys Meadow Road. If removal of trees and/or vegetation is required in order to gain necessary distance, approval must be sought from Lithgow City Council.

Council Building Officer

It is noted that no geotechnical report for the proposed on-site sewerage management system was submitted with the DA, however as the proposed B&B is outside the SCA area, this can be requested separately in determining the septic tank application. I have inspected the site and found that the proposed building will not impact on the existing septic tank and absorption trenches for the existing dwelling and that there is sufficient land area available for an on-site sewerage management system for the proposed B&B.

In regard to the submitted plans, the proposed B&B has a floor area of over 300 square metres and therefore must be considered to be a Class 3 building under the Building Code of Australia (Volume 1) and not as a Class 1b building under the Building Code of Australia (Volume 2) as appears to be proposed. Accordingly the requirements for fire compartmentation, egress, accessibility, services and equipment are more onerous and these will be reflected in the recommended conditions of Consent.

Should approval be granted to the application, please include the following conditions in the Consent:-

Approved Development

The development shall take place in accordance with the approved development plans containing Council's approved development stamp and all associated documentation submitted with the application, except as modified in red by Council and/or any conditions of this consent.

Colour of external cladding

That the external cladding and roofing of the dwelling are of a natural tone, non-reflective condition.

Minimum Capacity for domestic water Storage tanks on Rural properties

That water storage tanks capable of holding 45,000 litres are provided for the storage of water for domestic purposes. The water storage tank/s are to be finished to ensure compatibility with the existing development to the satisfaction of Council.

Building Code of Australia

All building work must be carried out in accordance with the provisions of the Building Code of Australia. In regard to the plans submitted with the development application it is noted that the floor area of the dwelling is over 300 square metres and the following is required:-

- The building must comply with the requirements for Type C construction as applicable to a class 3 building;
- Access and egress must comply with Section D;
- Services and equipment are required in accordance with Section E;
- Accessible facilities are required in accordance with Section F; and
- Energy Efficiency must comply with Section J.

Notification of commencement of building work

Prior to commencing any construction works, the following provisions of the Environmental Planning and Assessment Act 1979 are to be complied with:

- a) a Construction Certificate is to be obtained in accordance with Section 81A(2)(a) of the Act, and
- b) a Principal Certifying Authority is to be appointed and Council is to be notified of the appointment in accordance with Section 81A(2)(b) of the Act and Form 7 of the Regulations, and
- c) Council is to be notified at least two days prior of the intention to commence building works, in accordance with Section 81A(2)(c) of the Act in Form 7 of Schedule 1 of the Regulations.

Soil Erosion

All exposed earthworks and disturbed areas shall have suitable sediment control measures in place **prior** to the commencement of construction to prevent soil erosion and the transport of sediment off the site during rainfall and runoff. The sediment control measures shall be continually monitored and maintained for the duration of construction and for six months after completion. All disturbed areas shall be revegetated with native vegetation endemic to the area.

Erection of Construction Sign

Prior to the commencement of any works on the land, a sign/s must be erected in a prominent position on the site:

- a. Showing the name of the principal contractor (if any) for any building work and a telephone number on which that person can be contacted outside working hours.
- b. Stating that unauthorised entry to the work site is prohibited and
- c. Showing the name, address and telephone number of the principle certifying authority for the work.

The sign/s are to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.

Workers toilet facilities

Before work starts, toilet facilities must be provided for construction personnel on the site on the basis of 1 toilet for every 20 workers. Amenities are to be installed and operated in an environmentally responsible and sanitary manner. Toilets cannot remain on site for any longer than 12 months, without the further approval of Council.

Construction inspections

To ensure compliance with Australian Standard 3500 – National Plumbing and Drainage and Council (being the Water and Sewer Authority), compliance certificates are to be issued by Council for the following:

- a) Internal drainage carried out by licensed plumber prior to covering.
- b) External drainage (including onsite waste disposal system) installed by a licensed plumber and prior to covering.
- c) Hot and cold water plumbing installation

Note: forty-eight (48) hours notice shall be given to Council prior to inspections and inspection fees must be paid.

Construction Work Hours

All work on site shall only occur between the following hours:

Monday to Friday	7.00am to 6.00pm
Saturday	8.00am to 1.00pm
Sunday and public holidays	No work

Excavation and Backfilling

All excavations and backfilling associated with the approved works must be executed safely and in accordance with appropriate professional standards. All excavations must be properly guarded and protected to prevent them from being dangerous to life or property.

Bushfire

The development shall comply with the recommendations in the Bushfire Assessment Report by Fragar Planning & Development dated 15 October 2012.

Connection of roof water to water tank/s

That the rainwater drains are connected to water storage tanks which are located in a position that will not create a nuisance to the building or adjoining properties.

Note: Overflow pipes are to be discharged away from the building.

Licensed plumber

That all plumbing and drainage work be carried out by a licensed plumber and drainer and inspected by Council officers.

Approval to use structure

Prior to the use/occupation of the structure an Occupation Certificate must be issued by the Principal Certifying Authority.

A house number must be displayed in a position clearly visible from the street, in numbers having a height not less than 75mm. **(Note; Letter boxes, garden beds and the like are to be established within the confines of the property boundaries and not on Councils footpath)**

A geotechnical/water balance report for the proposed on site sewerage management system for the dwelling shall be submitted to Council prior to the approval of the Construction Certificate application. No work shall commence on the dwelling until the septic tank application has been approved by Council. Full details of the proposed on site sewerage management system for the dwelling are required to be submitted.

Public Submissions

The proposal was notified to adjacent and adjoining land owners with one submission received during the 14 day period. The submission raised the following planning related concerns:

- That the existing building has been drastically changed from that shown on the plan.
- That Jerrys Meadow Road is not suitable for any additional traffic;
- That the patrons of the bed & breakfast should not be able to raise complaints about noise or odour issues pertaining to everyday agricultural life of the area.
- Whether the proposal was for overnight stay or more long term accommodation for student/lecturers of the New University

Comment:

Points one and four are considered not considered to be planning issues and are not relevant matters for consideration under 79C. Point one refers to the existing dwelling on the plan, which is not relevant to the proposed development and is placed on a plan as a reference. Point four asks if the proposal is used for long term accommodation, however it is only used for short stay accommodation as part of the tourist facility.

It is noted that Jerrys Meadow Road is a public road controlled and maintained by Council and is the responsibility of Council account for additional traffic impacts. It is considered that the impact of short stay accommodation of a maximum of 6 patrons (including permanent residents) is not a significant enough increase to require the applicant to upgrade Jerrys Meadow Road. However, conditions of consent will require the applicant to upgrade the current property access to a higher standard from the road into the property.

In regards to patrons of the tourist facility raising complaints about agricultural land uses, Council acknowledges that the development is proposed within an existing rural area. All complaints are fully considered on their merits. The two uses are considered compatible due to the 'short term stay' nature of the proposed accommodation and the proposed distance of the building to neighbouring properties. However, it may be appropriate for the operator of the Bed & Breakfast to provide an information package to guests which outlines that the property is in a rural area surrounded by agricultural pursuits.

5.3.9 The public interest

There has been no other issues raised from the public.

6. DISCUSSION AND CONCLUSIONS

The proposal is considered to generally comply with the relevant provisions of the applicable Environmental Planning Instruments. The proposal is not considered likely to have any significant negative impacts upon the environment or upon the amenity of the locality. As such it is recommended that development consent is issued subject to the conditions outlined below.

7. ATTACHMENTS

Schedule A- Conditions of consent.

8. RECOMMENDATION

THAT development application 057/11DA is approved subject to conditions set out in Schedule A.

Report prepared by:.....Supervisor:.....

Dated:.....Dated:.....

REASONS FOR CONDITIONS

The conditions in Attachment 1 have been imposed for the following reasons:

- To ensure compliance with the terms of the relevant Planning Instruments
- To ensure no injury is caused to the existing and likely future amenity of the neighbourhood
- Due to the circumstances of the case and the public interest.
- To ensure that adequate road and drainage works are provided.
- To ensure access, parking and loading arrangements will be made to satisfy the demands created by the development.
- To ensure the structural integrity of the development.
- To ensure the protection of the health and safety of the occupants of the development.
- To protect the environment.
- To prevent, minimise, and/or offset adverse environmental impacts.
- To ensure there is no unacceptable impact on the water quality.
- To ensure adequate soil conservation and protect against movement of soil and sediments.

Schedule A

Conditions of Consent (Consent Authority)

Please Note: It should be understood that this consent in no way relieves the owner or applicant from any obligation under any covenant affecting the land.

ADMINISTRATIVE CONDITIONS

1. That the development be carried out in accordance with the application, Statement of Environmental Effects, accompanying information, plans listed in the approval and any further information provided during the process unless otherwise amended in red by Council and/or by the following conditions.
2. A house number must be displayed in a position clearly visible from the street, in numbers having a height not less than 75mm. **(Note; Letter boxes, garden beds and the like are to be established within the confines of the property boundaries and not on Councils footpath)**
3. The Applicant shall prepare an information package for guests of the tourist facility which outlines the property is in a rural area surrounded by agricultural activities.
4. The proposed advertising sign not exceed a size of 0.3m².

Minimum Capacity for domestic water Storage tanks on Rural properties

5. That water storage tanks capable of holding 45,000 litres are provided for the storage of water for domestic purposes. The water storage tank/s are to be finished to ensure compatibility with the existing development to the satisfaction of Council.
6. The applicant is to ensure that all potable water supplies used on the premises comply and are maintained to comply with the Australian Drinking Water Guidelines 6 - 2011. Prior to supplying any potable water to residents and guests the water shall be tested by an approved testing facility and confirmed as meeting the requirements of the guideline. Test reports confirming current compliance to the standard are to be furnished prior to the issue of an occupation certificate to Council and at intervals not greater than 6 months. The report shall be furnished within 2 weeks of taking samples. Should existing potable water supplies fall below the performance standards of the guidelines at any time, alternate arrangements are to be made to provide complying potable water supplies.

Building Code of Australia

7. All building work must be carried out in accordance with the provisions of the Building Code of Australia. In regard to the plans submitted with the development application it is noted that the floor area of the tourist facility is over 300 square metres and the following is required:-
 - The building must comply with the requirements for Type C construction as applicable to a class 3 building;
 - Access and egress must comply with Section D;
 - Services and equipment are required in accordance with Section E;
 - Accessible facilities are required in accordance with Section F; and
 - Energy Efficiency must comply with Section J.

Bushfire

8. The development shall comply with the recommendations in the Bushfire Assessment Report by Fragar Planning & Development dated 15 October 2012.

PRIOR TO ISSUE OF CONSTRUCTION CERTIFICATE

Amenity

9. The applicant shall ensure that during the construction works all measures are taken to eliminate/suppress any dust nuisance emanating from the site.
10. That the external cladding and roofing of the dwelling are of a natural tone, non-reflective condition.

Environmental Protection

11. All soil erosion and sediment controls shall be in place prior to the commencement of construction works. All erosion controls must remain in place until all construction work is finalised and suitable vegetation has been established. The developer will be required to remove and dispose of the sedimentation and erosion devices at the conclusion of suitable vegetation establishment at his/her full cost.

Engineering Requirements

12. All access to the property off Jerrys Meadow Road shall have a minimum of 150mm of DGB-20 road base applied and compacted providing a smooth transitional surface. Access is to be constructed providing a minimum entry splay of 6 meters in width, tapering back into a minimum 4.0 metre wide internal access road.
13. All access will be required to have a minimum of 160m sight distance in both directions along Jerrys Meadow Road. If removal of trees and/or vegetation is required in order to gain necessary distance, approval must be sought from Lithgow City Council.
14. The applicant shall ensure that during the construction works all measures are taken to eliminate/suppress any dust nuisance emanating from the site.

Onsite Wastewater Management System

15. A geotechnical/water balance report for the proposed on site sewerage management system for the dwelling/tourist facility shall be submitted to Council in the form of a Section 68 application, prior to the approval of the Construction Certificate application. **No work shall commence on the dwelling/tourist facility until the effluent disposal system application has been approved by Council.** Full details of the proposed onsite sewerage management system for the dwelling/tourist facility are required to be submitted.

DURING CONSTRUCTION

Notification of commencement of building work

16. Prior to commencing any construction works, the following provisions of the Environmental Planning and Assessment Act 1979 are to be complied with:
 - a) a Construction Certificate is to be obtained in accordance with Section 81A(2)(a) of the Act, and
 - b) a Principal Certifying Authority is to be appointed and Council is to be notified of the appointment in accordance with Section 81A(2)(b) of the Act and Form 7 of the Regulations, and
 - c) Council is to be notified at least two days prior of the intention to commence building works, in accordance with Section 81A(2)(c) of the Act in Form 7 of Schedule 1 of the Regulations.

Soil Erosion

17. All exposed earthworks and disturbed areas shall have suitable sediment control measures in place **prior** to the commencement of construction to prevent soil erosion and the transport of sediment off the site during rainfall and runoff. The sediment control measures shall be continually monitored and maintained for the duration of construction and for six months after completion. All disturbed areas shall be revegetated with native vegetation endemic to the area.

Erection of Construction Sign

18. Prior to the commencement of any works on the land, a sign/s must be erected in a prominent position on the site:
- Showing the name of the principal contractor (if any) for any building work and a telephone number on which that person can be contacted outside working hours.
 - Stating that unauthorised entry to the work site is prohibited and
 - Showing the name, address and telephone number of the principle certifying authority for the work.
- The sign/s are to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.

Workers toilet facilities

19. Before work starts, toilet facilities must be provided for construction personnel on the site on the basis of 1 toilet for every 20 workers. Amenities are to be installed and operated in an environmentally responsible and sanitary manner. Toilets cannot remain on site for any longer than 12 months, without the further approval of Council.

Construction inspections

20. To ensure compliance with Australian Standard 3500 – National Plumbing and Drainage and Council (being the Water and Sewer Authority), compliance certificates are to be issued by Council for the following:
- Internal drainage carried out by licensed plumber prior to covering.
 - External drainage (including onsite waste disposal system) installed by a licensed plumber and prior to covering.
 - Hot and cold water plumbing installation
- Note: forty-eight (48) hours notice shall be given to Council prior to inspections and inspection fees must be paid.**

Construction Work Hours

21. All work on site shall only occur between the following hours:
- | | |
|----------------------------|------------------|
| Monday to Friday | 7.00am to 6.00pm |
| Saturday | 8.00am to 1.00pm |
| Sunday and public holidays | No work |

Excavation and Backfilling

22. All excavations and backfilling associated with the approved works must be executed safely and in accordance with appropriate professional standards. All excavations must be properly guarded and protected to prevent them from being dangerous to life or property.

Connection of roof water to water tank/s

23. That the rainwater drains are connected to water storage tanks which are located in a position that will not create a nuisance to the building or adjoining properties.
- Note: Overflow pipes are to be discharged away from the building.**

Licensed plumber

24. That all plumbing and drainage work be carried out by a licensed plumber and drainer and inspected by Council officers.

PRIOR TO OCCUPATION/ USE

25. Prior to the use/occupation of the structure an Occupation Certificate must be issued by the Principal Certifying Authority.

ADVISORY NOTES

Building Code of Australia Compliance

- AN1. All building work must be carried out in accordance with the provisions of the Building Code of Australia.

Construction Certificate

- AN2. A Construction Certificate is required prior to the commencement of any site or building works. This certificate can be issued either by Council as the consent authority or by an accredited certifier.

Section 68 Approval

- AN3. The applicant must obtain written Section 68 approval from Council; this will be required prior to any construction works. The Section 68 application requires the submission of all detailed engineering drawings/design, specifications and any applicably supporting information for the proposed works.

Threatened Species

- AN4. No Threatened Species or Endangered Ecological Community listed under the Threatened Species Conversation Act 1995, the Environment Protection and Biodiversity Conservation Act 1999 or the associated Regulations are to be cleared as result of this Approval. This includes for fencing or accessways



Gums

PROPOSED LOCATION OF NEW SEPTIC SYSTEM (APPROX)

2x20kl POLY WATER TANKS (FINAL PLACEMENT TO BE CONFIRMED ON SITE)

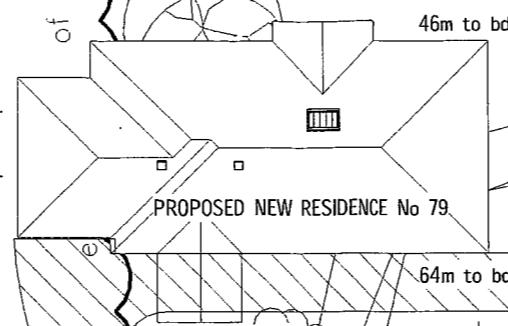
20kl WT
20kl WT

SEPTIC

Scattered Gums

PROPOSED NEW DRIVEWAY

LOT 51
DP1131349



PROPOSED NEW RESIDENCE No 79

Post & Wire Fence
Telstra Pit
Gate

G.I. Water Tank
Septic Tank

Fibro Cottage

Overhead P.
Powerline

Peg 108.14

31.1

Tel

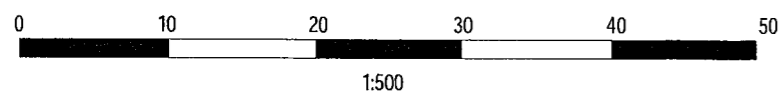
Post & Wire
198°36'30" 54.88
PM158984
Gate
Gravel Access
Boyl.

JERRYS MEADOW ROAD

ALL DIMENSIONS ARE WALL TO BDY
ALL DIMENSIONS ARE METRES

Site

1 : 500



REFERENCE DOCUMENTS

- 1. Engineering Specification
- 2. Basix Assessment
- 3. Detail Survey

IAN LAING DRAFTING
DRAWING AND DESIGN

RESIDENTIAL INDUSTRIAL

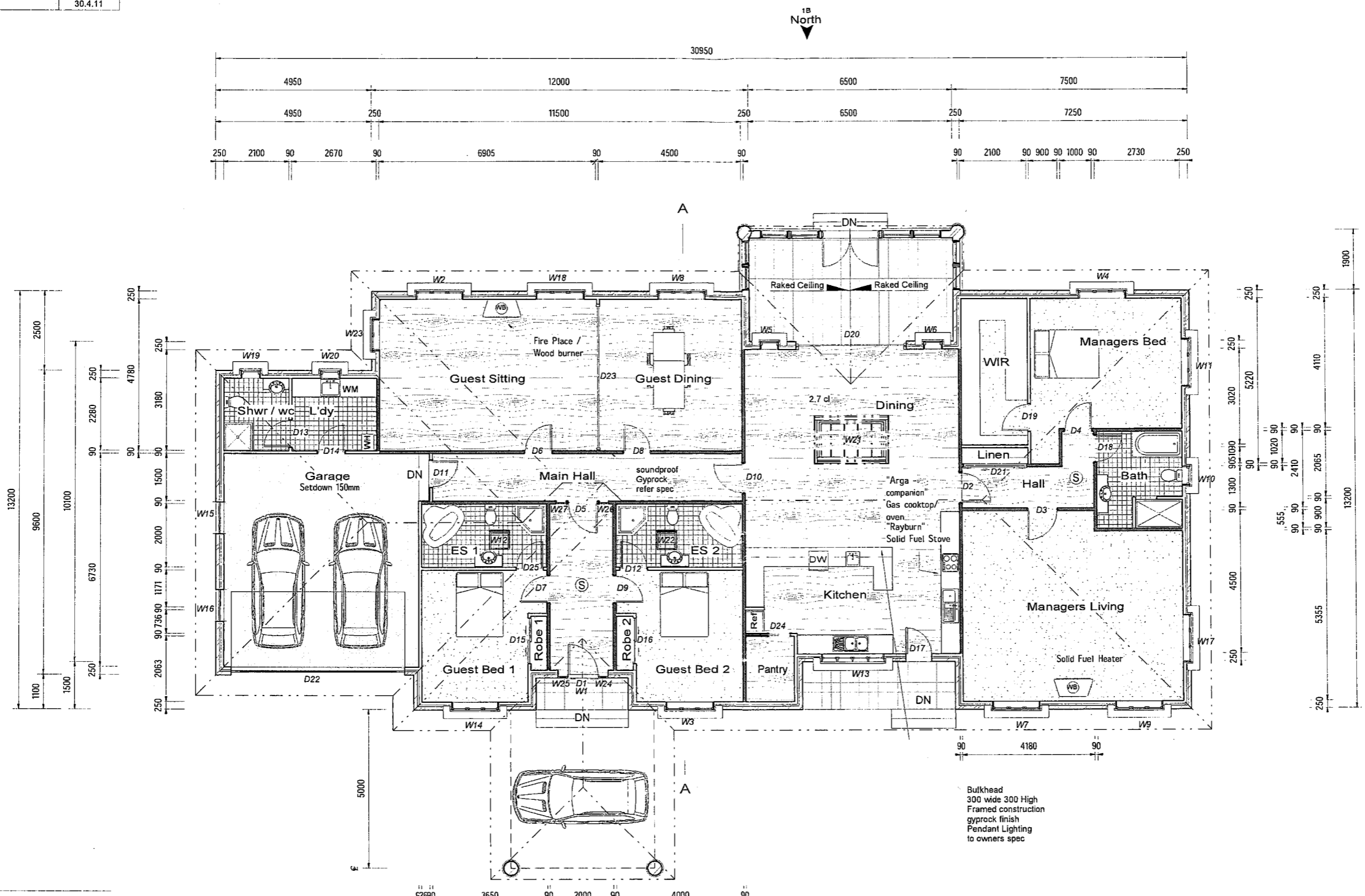
CAD

41 McKanes Falls Rd, Bowenfels
Ph: 63531405 Mob: 04118493793
E: ILDrafting@bigpond.com.au ABN: 78 001 810 390

Proposed New Residence
79 Jerrys Meadow Rd
Sodwalls 2790

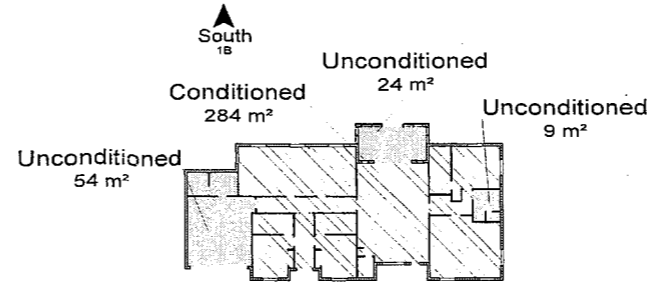
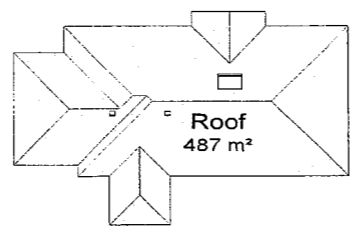
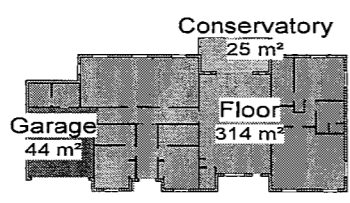
CLIENT: Drs' S&J Dearin	PROJECT NO.	REV: A
CONTACT:	21049-12	SHEET 3A A3
DATE: 15.09.11 DRAWN: IL		
SCALE: 1 : 500		

Revisions		
Revision	Description	Date
A	Original Issue	30.4.11



Plan
1 : 100

Drawing Sheets	
No.	Name
1A	Plan
1B	Elevations
1C	Section
2A	Window Schedule
2B	Door Schedule
3A	Site
3B	Site Contours
4A	Basix



Ⓢ Smoke Detector

REFERENCE DOCUMENTS

1. Engineering Specification
2. Basix Assessment
3. Detail Survey

1:100

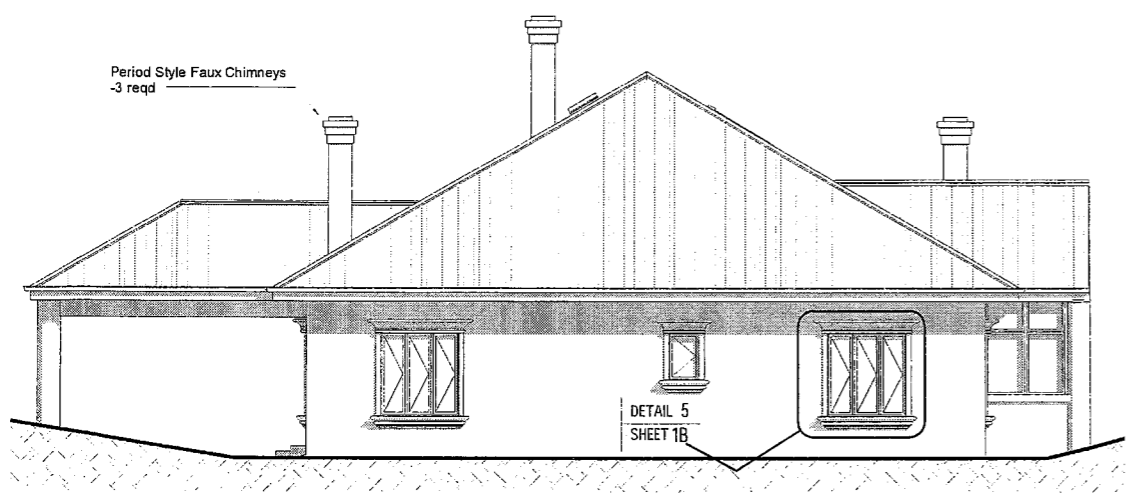
IAN LAING DRAFTING
DRAWING AND DESIGN

41 McKinnon Falls Rd. Bowden Vic.
Ph: 03 9337 1405 Mob: 0417 645379
E: ILDrafting@bigpond.com.au FAX: 03 931 610392

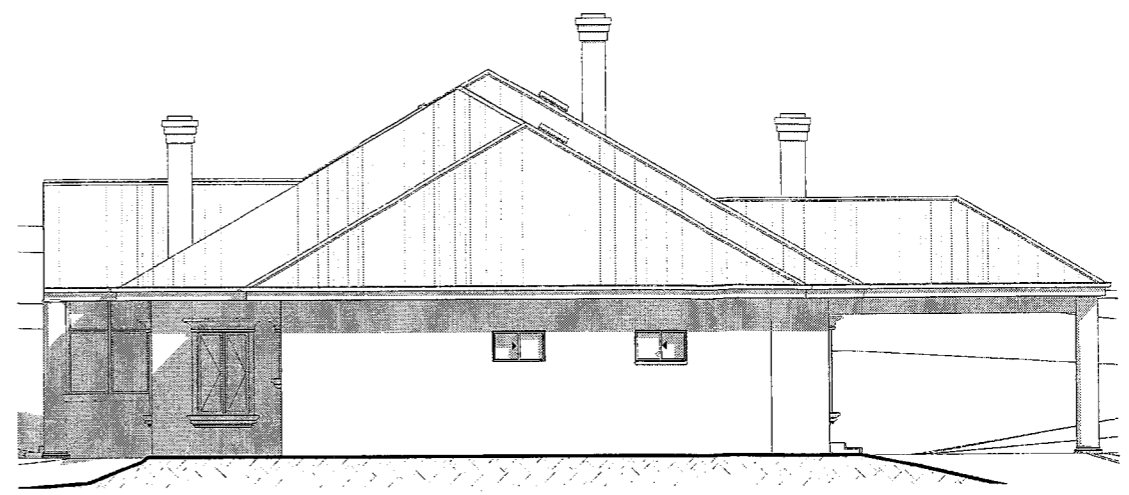
Proposed New Residence
79 Jerrys Meadow Rd
Sodwalls 2790

CLIENT: Drs' S&J Dearin
CONTACT: PROJECT NO. 21049-12
DATE: 15.09.11 DRAWN: IL
SCALE: As indicated

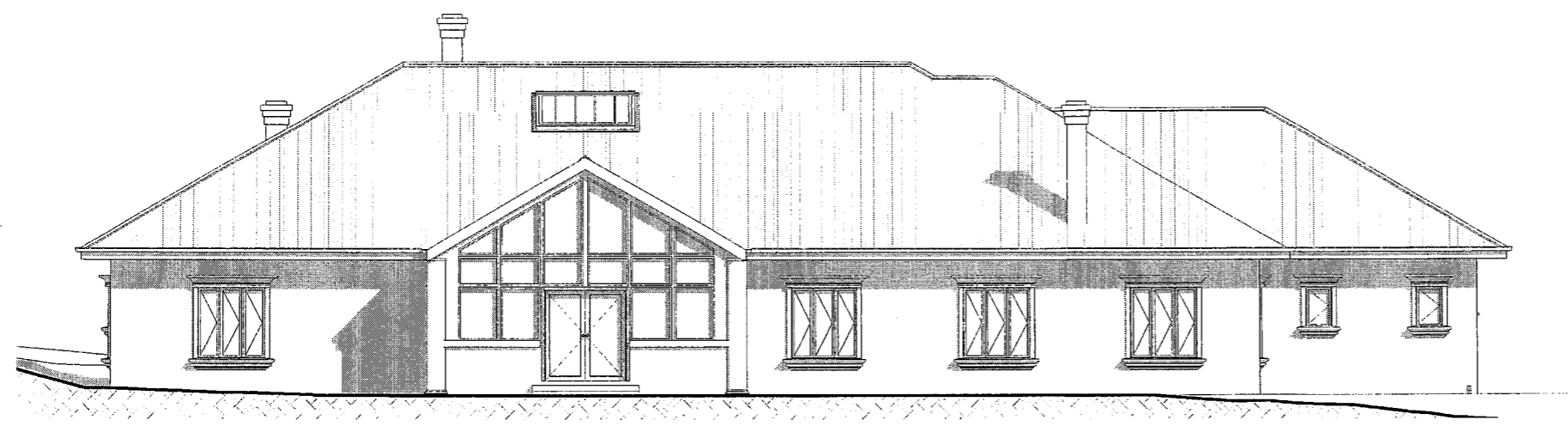
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SHEET 1A A2



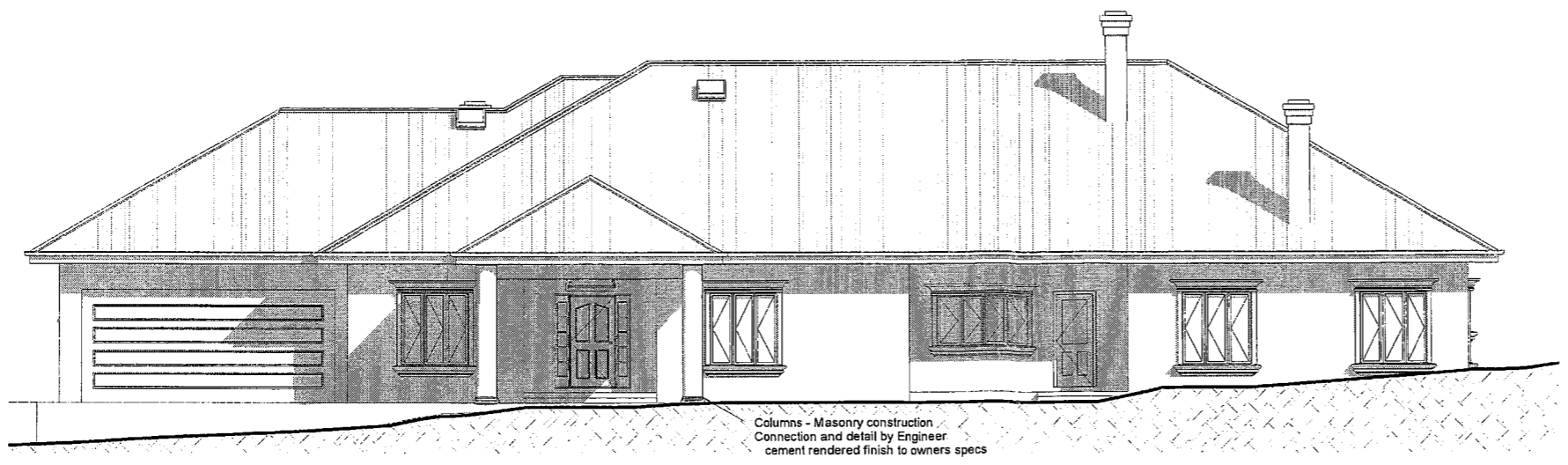
East
1:100



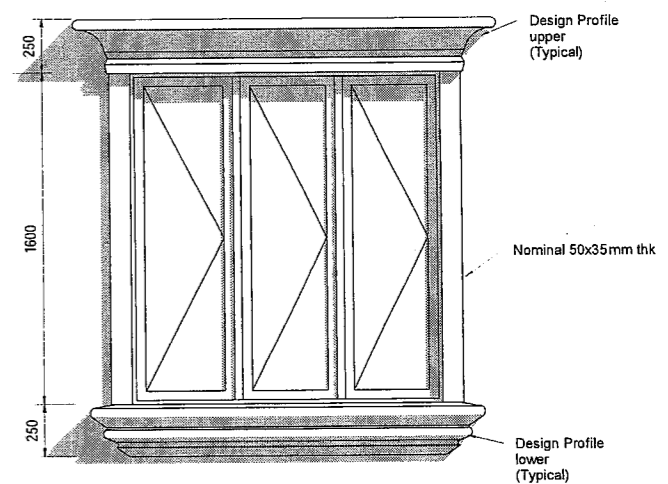
West
1:100



North
1:100

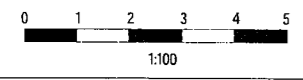


South
1:100



Material: AAC concrete
Paint finish (by owner)

Detail No. 5 | Window Surround Detail
Ref Sheet 1B | 1:25



Proposed New Residence
79 Jerrys Meadow Rd
Sodwalls 2790

CLIENT: Drs' S&J Dearin	PROJECT NO.	REV: A
CONTACT:	21049-12	SHEET 1B A2
DATE: 15.09.11 DRAWN: IL	SCALE: As indicated	